

SMALL SITES



SMALL BUILDERS

ALBANY ROAD

LEGAL INFORMATION

LAND AT ALBANY ROAD, EDMONTON, N18 2DY

Navigate this pack using the links below or the pdf bookmarks

Report on Title and Annexures

Searches

Official Copies (Register and Title Plan)

CPSE Replies

Report on title site at Albany Road, N18 2DY

1. INTERPRETATION

The following terms are used in this report

Benefits: any right, easement, restriction, stipulation, restrictive covenant, mining or mineral right, franchise or other interest that benefits the Property (except for those reserved in any Letting Documents).

Incumbrances: any right, easement, restriction, stipulation, restrictive covenant, mining or mineral right, franchise or other interest to which the Property is subject (except for those reserved in any Letting Documents).

Letting Documents: the lease(s) to which the Property is subject.

LTA 1954: Landlord and Tenant Act 1954.

Property: The property described in *Paragraph 4.* of this report.

Owner: Transport for London of Windsor House 42 – 50 Victoria Street, London SW1H 0TL.

VAT: value added tax chargeable under the Value Added Tax Act 1994.

2. SCOPE OF THE REVIEW AND LIMITATION OF LIABILITY

2.1

This report has been prepared for the sole benefit of you, Transport for London, in connection with your proposed disposal of the Property and for no other purpose.

2.2

This report is addressed to the Owner for its exclusive use. It must not be relied on by or made available to any other party without our written consent.

2.3

The report is based on our review of the title documents, search results, planning documents and replies to pre-contract enquiries you have provided

2.4

Where the provisions of the Letting Documents are summarised, the wording of the provisions has been shortened. Provisions that are likely to be less important when assessing their effect on the value of the Property have been omitted. This report should not be used as a substitute for reading the actual Letting Documents.

2.5

We have not inspected the Property and are unable to advise on the physical condition of the Property.

2.6

We have made no enquiries of the actual occupiers of the Property and have not taken any steps to verify independently the information supplied by you in replies to enquiries.

2.7

We express no opinion on the commerciality of the transaction. We are unable to advise on the value of the Property. We recommend that you have the Property professionally valued. You should ensure that the valuer is aware of the matters mentioned in this report, as they may affect the value.

3. EXECUTIVE SUMMARY

This is a summary of the major issues that we think should be brought to your attention:

3.1

There are several restrictive covenants noted on the title which no longer affect the Property, as the burdened land has been transferred out of the Owner's title. These are detailed at *Paragraphs 6.3, 6.4 and 6.5* below. It is possible to apply to the Land Registry to remove these from the title.

3.2

The Chancel search discloses risk of liability. It is recommended that chancel repair insurance is put in place.

4. THE PROPERTY

4.1

The Property is the freehold land known as land on the east side of Kimberley Road, London.

4.2

A plan showing the Property edged in red is attached as *Annex A*.

4.3

The Property is registered at the Land Registry under title number AGL146548.

The class of title for all of the above title numbers is absolute freehold title. Absolute title is the best class of title available.

4.4

The registered owner of the freehold Property is the Owner.

4.5 The terms of the Letting Documents are set out in *Schedule 2* to this report.

5. MATTERS BENEFITTING THE PROPERTY

There are no matters benefitting the Property.

6. MATTERS BURDENING THE PROPERTY

The Property is subject to the following Incumbrances:

6.1

A conveyance dated 18 November 1898 made between (1) George Cobley-Smyth Richards and (2) Albert Norrington contains restrictive covenants in respect of the land shaded blue on the plan at *Annex B* but a copy was not produced on first registration.

6.2

A conveyance of the land tinted brown on the plan at *Annex B* dated 25 September 1900 made between (1) George Cobley Smyth-Richards and (2) Thomas Griffiths contains the following restrictive covenants:

- (a) To make and maintain a boundary fence, not exceeding six feet in height, next to the road on the sides marked T. The Land Registry notes that the T marks are on the north eastern boundary of the land tinted brown.
- (b) All buildings to be erected in accordance with the building lines shown, however no map has been provided.
- (c) Not to permit the following trades: innkeeper, victualler, retailer of wines, spirits, ale or beer, shop, trade or manufacturing.
- (d) No building shall be erected of less value than £125.
- (e) No earth to be dug upon any lot until the purchase money is paid in full.
- (f) No hut, tent, caravan house on wheels or other chattel shall be placed or allowed to remain on the Property.

To the extent that these restrictions may have an impact on the proposed use of the Property, we would recommend that restrictive covenant indemnity insurance is put in place.

6.3

A conveyance drafted 27 November 1906 made between (1) Louis Constad (2) Henry Cubitt Gooch and (3) Richard Seymour contains restrictive covenants that no tavern, hotel, public house, beershop or other shop selling liquors be erected on the land tinted mauve and yellow on the plan at *Annex B*. However, this land has since been transferred out of the Owner's title, and therefore this restrictive covenant does not affect the Property.

6.4

A conveyance dated 18 April 1913 made between (1) Louis Constad and (2) The Tottenham and Edmonton Gas light and Coke Company contains covenants in respect of the land tinted yellow on the plan at *Annex B*. These restrictive covenants are not listed in the schedule of restrictive covenants, however the land tinted yellow has since been transferred out of the Owner's title. Therefore this restrictive covenant does not affect the Property.

6.5

A deed dated 25 January 2001 made between (1) Lattice Property Holdings Limited and (2) Transco Plc contains easements to lay, construct and maintain gas pipelines upon the strips of land shown yellow on the plan at *Annex C*. The affected land has since been transferred out of the Owner's title, and therefore this restrictive covenant does not affect the Property.

6.6

A transfer dated 14 March 2003 made between (1) Secondsite Property Holdings Limited (the **Transferor**) and (2) Transport for London contained the following covenants:

- (a) To maintain the steel palisade fence not less than 6 feet in height between the Property and title number AGL89444 (as shown edged red on the plan at *Annex D*). The affected land has since been transferred out of the Owner's title, and therefore this restrictive covenant does not affect the Property.
- (b) To indemnify the Transferor and any successors in title in respect of any liabilities arising from part 2A of

the Environmental Protection Act 1990

7. SEARCH RESULTS

7.1

Index map search

An index map search confirms whether a property is registered at the Land Registry (and, if so, the title number(s) under which it is registered). If a property is not registered, an index map search will show whether a property is subject to any pending applications for registration or any cautions against first registration.

The result of our index map search confirmed that the Property is registered under the title number stated in *Paragraph 4.3* of this report.

7.2

Local land charges search

A search of the local land charges register shows matters such as compulsory purchase orders, tree preservation orders, planning enforcement notices and financial charges registered against a property. You should note that the search result provides a snapshot of the register on the date of the search. Local land charges registered after the date of the search will still bind a property.

The local land charges search was provided by Enfield Council on 20 July 2017.

7.3

Local authority search (including any optional and additional enquiries)

A local authority search reveals important information about a property, such as planning permissions and building regulation consents, proposals for road schemes, environmental and pollution notices and whether any part of the property is registered as common land or as a town or village green. A local authority search only reveals matters that affect the property being searched against. It will not disclose matters that affect neighbouring properties. If you require information about neighbouring properties, you should let us know so that further enquiries can be made.

The local authority search was provided by Enfield Council on 20 July 2017. The result of the search did not show any entries that adversely affect the Property and revealed the following information:

Planning permission for subdivision of site and erection of an end of terrace 2 storey 3-bed single family dwelling and associated landscaping and parking dated 01/09/16. However this is stated to relate to 6 Leopold Road which abuts the Property to the north so may not apply to the Property.

An undated permission reference TP/85/0526/1 permitting car park for MK Electrics constant use is also disclosed and a certificate of lawfulness permitting the erection of a 2.4m high wooden hoarding along Albany Road frontage dated 24/07/1996.

Albany Road is confirmed to be a public highway and the plan supplied indicates that it directly abuts the Property boundary.

No part of the Property is registered as common land or as a town or village green. Even if land is not registered as common land or a town or village green at the date of the search, it is possible for common land or new town or village greens to be registered in some circumstances.

7.4

Drainage and water enquiries

The replies to drainage and water enquiries show whether a property is connected to the mains water supply and mains drainage. The replies may also show the location of public sewers within the boundary of a property and other such matters that may restrict development.

Replies to the drainage and water enquiries were provided by Thames Water on 25 May 2017. The replies did not show any entries that adversely affect the Property and revealed the following information:

The Property is stated to be believed to be a plot of land or recently built property, so it is recommended that drainage proposals are checked with the developer. The search results indicate that there are no water mains, resource mains or discharge pipes within the boundaries of the Property.

7.5

Chancel repair search

A chancel repair search shows whether the owner of a property may be liable to contribute towards the cost of repairs to the chancel of a parish church. We would advise you not to contact any parish churches directly in relation to chancel repair liability, as this may limit the availability of indemnity insurance.

The chancel repair search was provided by Chancel Check on 25 May 2017. The result of the search showed that the Property is within the historical boundary of a parish which continues to have a potential chancel repair liability.

Indemnity insurance for chancel repair liability can be obtained from First Title for approximately £230. This policy will cover you and your successors in title up to an indemnity limit of £1 million in perpetuity.

7.6

Utility Search Gas

The gas search was provided by National Grid Gas on 26 May 2017. Nothing was disclosed within the Property.

7.7

Utility Search BT Infrastructure

The BT Infrastructure search was provided by BT on 30 May 2017. Nothing was disclosed within the Property albeit BT joint boxes and cabling are disclosed in the adjoining roads.

7.8

Utility Search NG Electric

The NG Electric search was provided by National Grid on 30 May 2017. Nothing was disclosed within the Property.

7.9

Regional Electric Search

The Regional Electric search was provided by UKPN on 2 June 2017. Nothing was disclosed within the Property.

7.10

Highways Search

The highways search dated 3 July 2017 confirms that the Property directly abuts highway maintainable at public expense at the eastern boundary of the Property.

8. REPLIES TO PRE-CONTRACT ENQUIRIES

You should note the following information provided by the Seller in their replies to our pre-contract enquiries:

8.1

CPSE 1.1 states that it will be necessary to agree the precise location of the boundary before completion with the adjacent owner occupier who currently has a lease of the Property (see Letting Document).

8.2

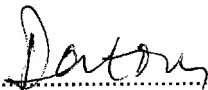
CPSE 12.6 states that the Property is currently used to store scaffolding and related materials.

8.3

CPSE 29.1 states that the Seller has not exercised an option to tax over the Property in respect of VAT.

9. CONCLUSION

Subject to the matters referred to in this report, we are of the opinion that the Property has a good and marketable title.



.....
Signed Dentons UKMEA LLP

Dated.....17/4/2017.....

**SCHEDULE 1
TERMS OF THE LEASE**

Not applicable

SCHEDULE 2

TERMS OF THE LETTING DOCUMENTS

PART 1

Letting Document 1

Premises demised by the Letting Document:	Land adjacent and to the rear of 14 Albany Road, London N18.
Date:	30 March 2017.
Original parties:	Transport for London (1) and Francis McDonagh (2)
Name and address of current landlord:	The Seller.
Name and address of current tenant:	Francis McDonagh .
Name and address of any current guarantor:	None.
If the tenant is not in occupation, name and address of the current occupier and basis of their occupation:	Not applicable.
Length of the term, commencement date and expiry date:	Three years from 1 October 2016 until 30 September 2019
Is the Letting Document contracted out of the LTA 1954?	Yes, although we have not reviewed the notice and statutory declaration.
Current rent:	£2,750
Any options or rights of first refusal:	None.

Details of any rent deposit:

No rent deposit.

The Landlord may terminate at any time upon three months' written notice.

The Tenant may terminate at any time upon three months' written notice, provided that:

1. Vacant possession is provided;
2. All payments due have been made; and
3. No breach of the Tenant's obligations.

Details of any break clauses:

If the Premises are destroyed or damaged by an insured risk and the Landlord is obliged to reinstate but is unable to do so within two years then either party may terminate the Lease immediately upon written notice to the other.

Any other material terms or omissions:

**SCHEDULE 3
OUTSTANDING MATTERS**

None

ANNEXES:

ANNEX A: PLAN OF THE PROPERTY

ANNEX B: AGL146548 TITLE PLAN

ANNEX C: PLAN SHOWING GAS PIPELINES AS PER PARAGRAPH 6.5

ANNEX D: AGL89444 TITLE PLAN

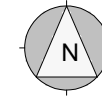


Transport for London

TfL Operational Property
Commercial Development
Windsor House
42-50 Victoria Street
SW1H 0TL

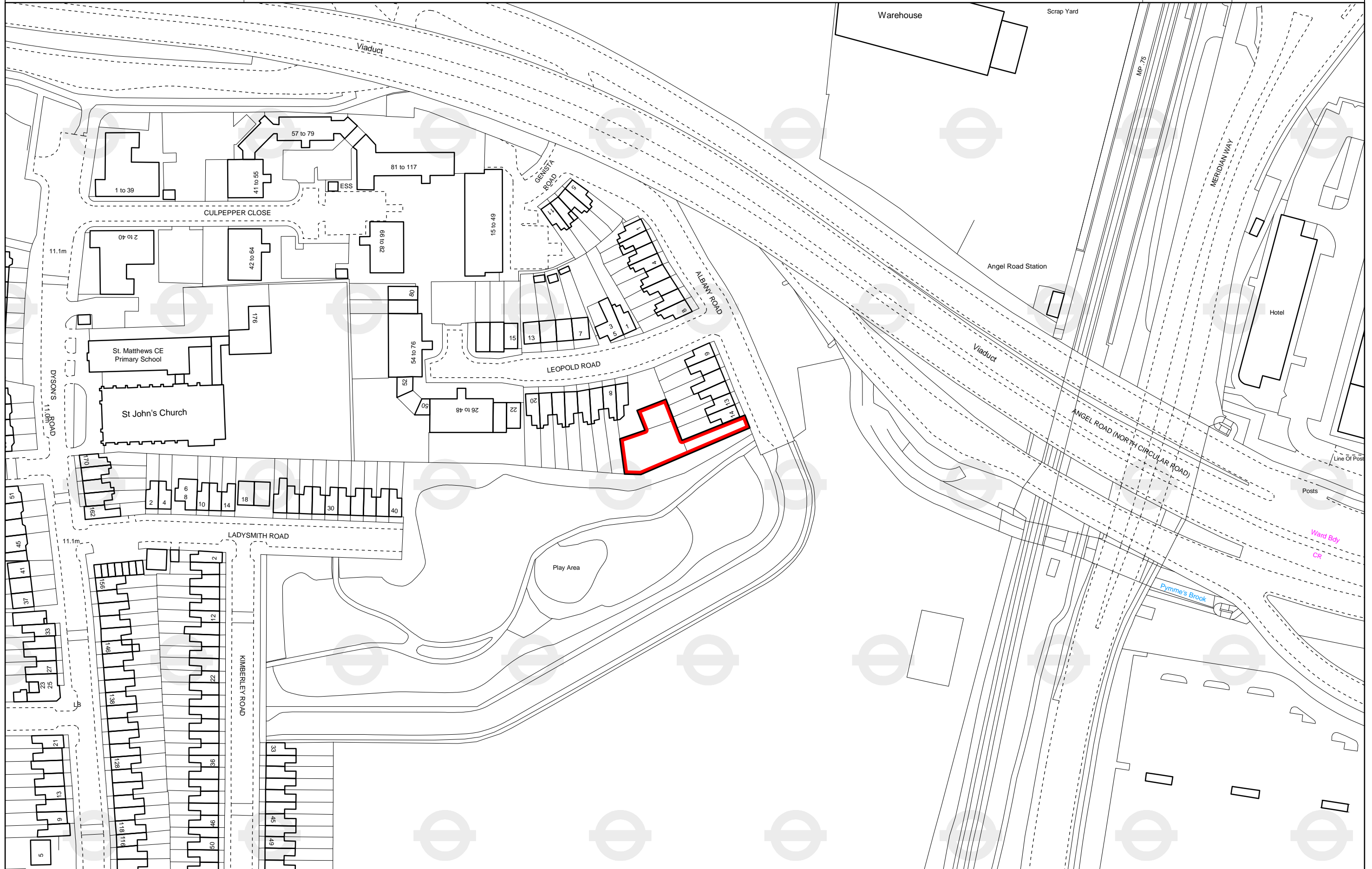
Site Ref: DEV092
Site at Albany Road

ANNEX A



A3 Landscape

Date : Mar 2017
Initial : REM
File : PAR
Scale : 1/1250 at A3



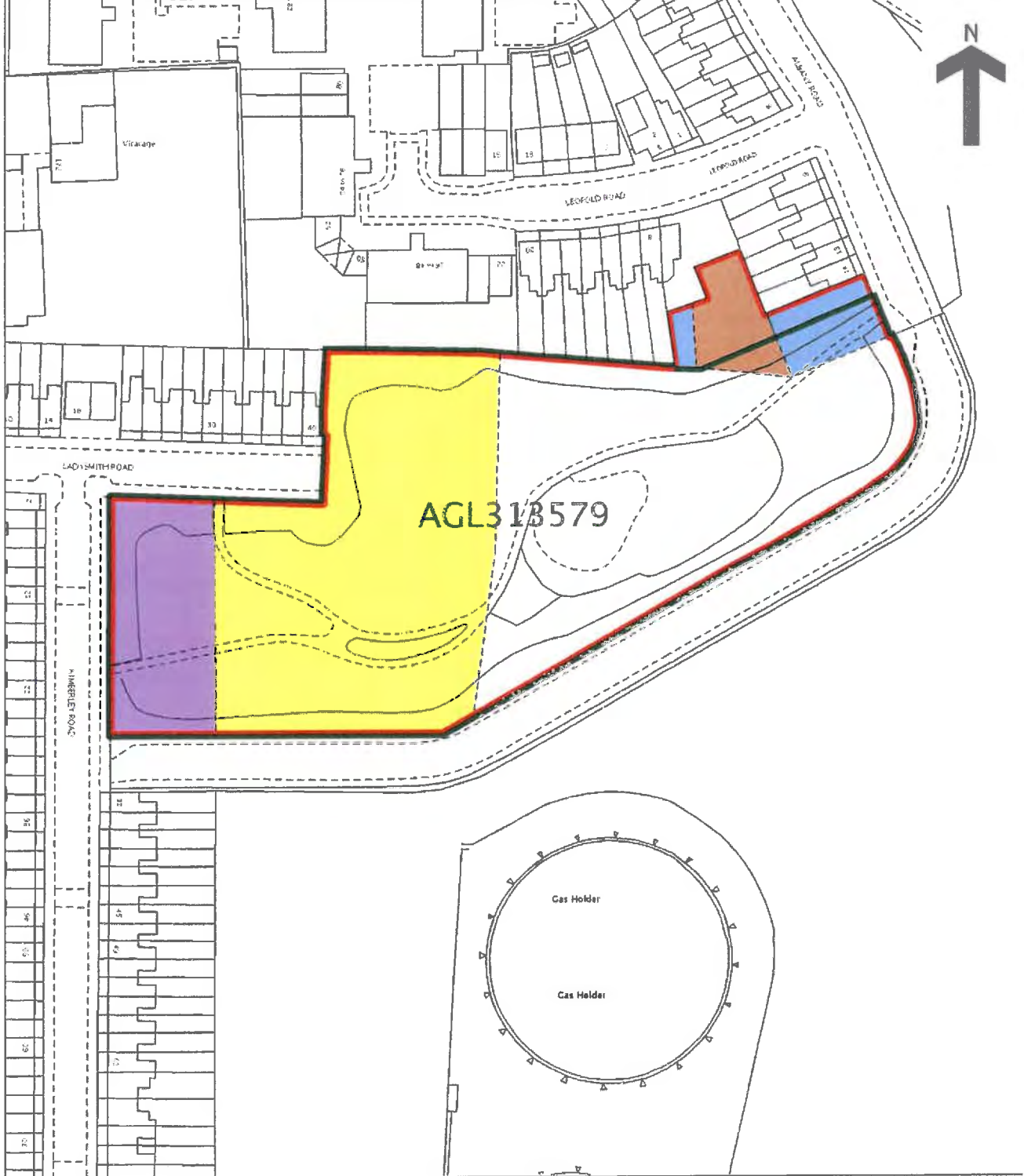
ANNEX B

HM Land Registry
Official copy of
title plan

Title number **AGL146548**
Ordnance Survey map reference **TQ3492SE**
Scale **1:1250**
Administrative area **Enfield**



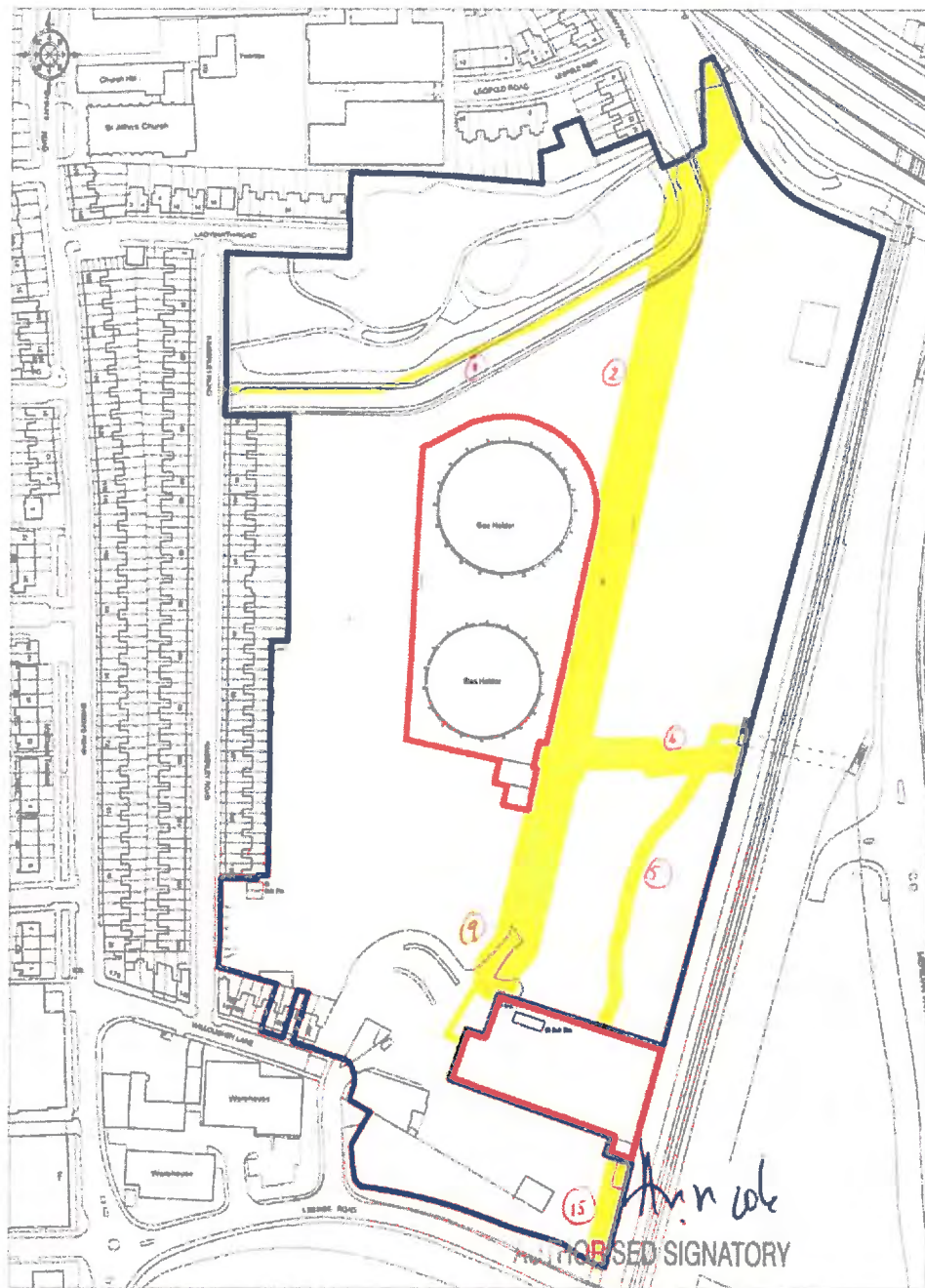
© Crown Copyright. Produced by HM Land Registry. Reproduction in whole or in part is prohibited without the prior written permission of Ordnance Survey. Licence Number 100026316.



ANNEX C

Willoughby Lane,
Tottenham, London

[Signature]
AUTHORISED SIGNATORY



© Crown copyright 2000 All rights reserved. Based on Ordnance Survey digital data Survey Scale - 1:1250 Plotted Scale - 1:2483
(Scales other than at Survey Scale should not be used for accurate measurement) Business occupancy data ©2000 Thomson Directories Ltd



BG plc Property Division
Location Code 195

BGT9386

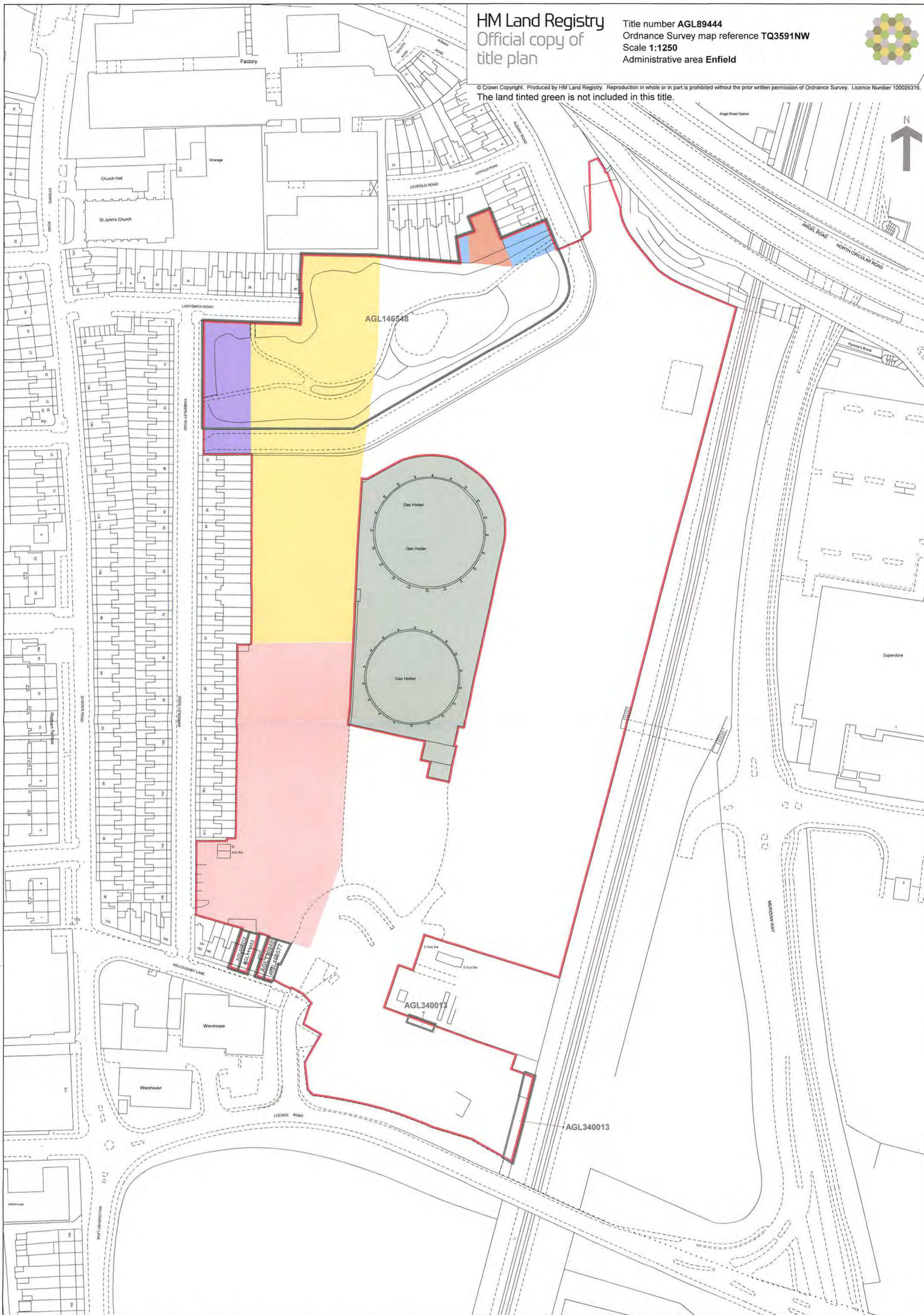
This official copy is incomplete without the preceding notes page.

HM Land Registry
Official copy of
title plan

Title number AGL89444
Ordnance Survey map reference TQ3591NW
Scale 1:1250
Administrative area Enfield



© Crown Copyright. Produced by HM Land Registry. Reproduction in whole or in part is prohibited without the prior written permission of Ordnance Survey. Licence Number 100026316.
The land tinted green is not included in this title.



This official copy issued on 20 June 2017 shows the state of this title plan on 20 June 2017 at 10:35:44. It is admissible in evidence to the same extent as the original (s.67 Land Registration Act 2002).
This title plan shows the general position, not the exact line, of the boundaries. It may be subject to distortions in scale. Measurements scaled from this plan may not match measurements between the same points on the ground.
This title is dealt with by HM Land Registry, Durham Office.



Date of Report:

Search Type:

Property Address:

Your Reference:

Our Reference:

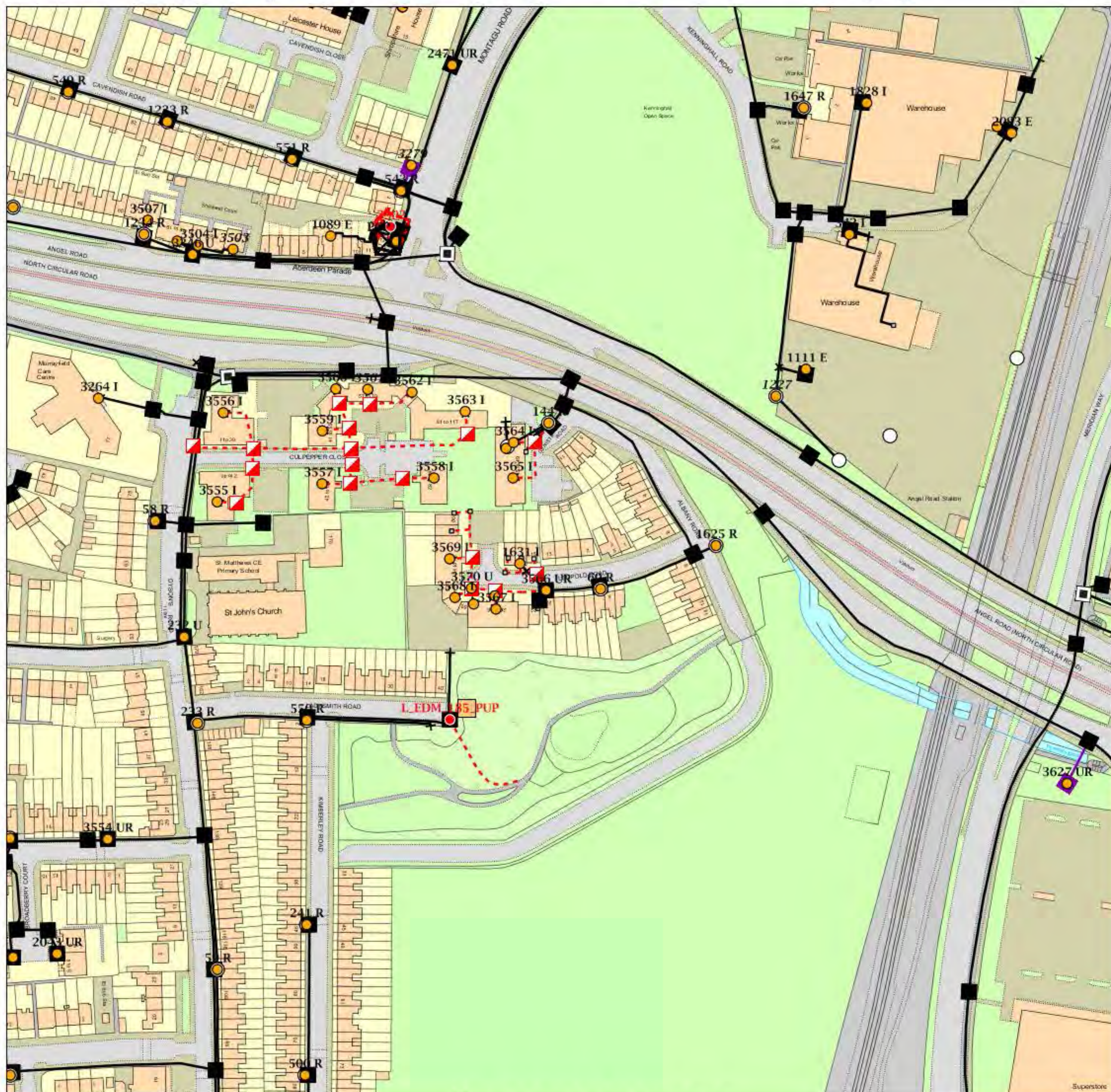
While every effort is made to obtain as much information as possible TM Group is dependent on the data provider for the accuracy and extent of the information supplied and accordingly, cannot be held liable for inaccurate or incomplete information supplied to TM Group.

1200 Delta Business Park | Swindon | Wiltshire | SN5 7XZ

t 0844 249 9200 | e helpdesk@tmgroup.co.uk | www.tmgroup.co.uk

TM Property Searches Limited (company number 03775703) and TM Search Choice Limited (company number 05281723) are wholly owned subsidiaries of TM Group (UK) Limited (company number 05278187). TM Group and its subsidiaries are registered in England: 1200 Delta Business Park, Swindon, Wiltshire, SN5 7XZ. TM Group and its subsidiaries are appointed representatives of CLS Risk Solutions Limited which is authorised and regulated by the Financial Conduct Authority. TM Group and its subsidiaries are appointed representatives of First Title Insurance plc, which is authorised by the Prudential Regulation Authority and regulated by the Financial Conduct Authority and the Prudential Regulation Authority under registration number 202103

Maps by email Plant Information Reply



IMPORTANT WARNING

Information regarding the location of BT apparatus is given for your assistance and is intended for general guidance only. No guarantee is given of its accuracy.

It should not be relied upon in the event of excavations or other works being made near to BT apparatus which may exist at various depths and may deviate from the marked route.



openreach
a BT Group business

CLICK BEFORE YOU DIG

FOR PROFESSIONAL FREE ON SITE ASSISTANCE PRIOR TO COMMENCEMENT OF EXCAVATION WORKS INCLUDING LOCATE AND MARKING SERVICE

email cbyd@openreach.co.uk

ADVANCE NOTICE REQUIRED
(Office hours: Monday - Friday 08.00 to 17.00)
www.openreach.co.uk/cbyd

Reproduced from the Ordnance Survey map by BT by permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationary Office
(C) Crown Copyright British Telecommunications plc 100028040

KEY TO BT SYMBOLS

DP		Pole	
Planned DP		Planned Pole	
PCP		Joint Box	
Planned PCP		Change Of State	
Built		Split Coupling	
Planned		Duct Tee	
Inferred		Planned Box	
Building		Manhole	
Kiosk		Planned Manhole	
Hatchings		Cabinet	
		Planned Cabinet	

Other proposed plant is shown using dashed lines.
BT Symbols not listed above maybe disregarded.
Existing BT Plant may not be recorded.
Information valid at time of preparation

openreach
a BT Group business

BT Ref : ZTF04129Y

Map Reference : (centre) TQ3497492179

Easting/Northing : (centre) 534974,192179

Issued : 30/05/2017 16:12:29

WARNING: IF PLANNED WORKS FALL INSIDE HATCHED AREA IT IS ESSENTIAL BEFORE PROCEEDING THAT YOU CONTACT THE NATIONAL NOTICE HANDLING CENTRE. PLEASE SEND E-MAIL TO: nnhc@openreach.co.uk

OPERATION SUPPORT GROUP
TM GROUP
1200 DELTA BUSINESS PARK
SWINDON
WILTSHIRE
SN5 7XZ

Date : 23 June 2017

Your Ref : 16697858

Our Ref : Archives

Dear Sirs,

WAYLEAVE SEARCH at ALBANY ROAD LONDON N18 2DY

Thank you for your request. We have now completed a search of our Wayleave Archives and:-

- We enclose copies of any wayleave agreements found
- We have been unable to find any wayleave agreements for this location

Any rights of entry or otherwise are detailed in the relevant wayleave agreement and/or by the Electronic Communications Code, which is Schedule 2 to the Telecommunications Act 1984, as amended by the Communication Act 2003. No liability falls on the owner/occupier for the maintenance of BT structures and no fee is payable to BT.

SITE DEVELOPMENT

If your client is proposing to develop their site, any proposed method for serving your clients property would need to be discussed in detail with the BT planner following an order for telecommunications service.

BT APPARATUS LOCATION PLAN

If you require production of a marked up plan showing the location of BT apparatus please email nnhc@openreach.co.uk, there is a charge for this service. For the production of more than 20 maps you may be interested in our Maps by Email service on stoke.incoming.notices@openreach.co.uk

Yours faithfully

Joanna Hepper

WAYLEAVE ARCHIVE MANAGER

Report Details

Report Number	6806455
Issue Date	25/05/2017
Client Ref	043574.1/CLHS/ALBANY
Address	Land at, Albany Road, London, N18 2DY

The above address is located within the historical boundary of a tithe district within a parish which continues to have a potential chancel repair liability based upon historical parish boundary data and the relevant Inland Revenue Indices held by The National Archives.

No-one involved in the production of this report has any relationship with any party involved in the sale of the property.

This service is only available for properties in England and Wales. The data used to identify potential risk is derived from a comprehensive academic study of historical boundaries relating to parishes and documentation pertaining to potential chancel repair liability held at The National Archives.

It should be noted that this service searches against the identified address point of the subject building and not the delineated boundary of the property, in order to establish the location in respect of the relevant historical boundary.

ChancelSure[®] provides market leading indemnity insurance for chancel repair liability. Part of the **ConveySure**[®] suite of insurance products, **ChancelSure**[®] is available online via our website at www.clsi.co.uk.

ChancelSure[®] (indemnity insurance for chancel repair liability) offers diminution in value and a 200% escalator clause as standard – in perpetuity cover is also available. For lender complaint insurance policies (no cover notes, orders returned within 30 seconds via email with invoice that is payable by BACS or cheque within 14 days) log onto www.clsi.co.uk.

ChancelCheck[®] is provided with the benefit of a Search Insurance policy offering cover up to a market value of £2m where a pre-existing matter adversely affects the result of the **ChancelCheck**[®] provided on the property.

Terms and Conditions

This Report is prepared by CLS Property Insight Limited ('CLS') and is subject to the following Terms and Conditions:

Private Clients Visit: <https://www.clsi.co.uk/Content/PDFs/Website/TermsConditions-B2C.pdf>
Business Clients Visit: <https://www.clsi.co.uk/Content/PDFs/Website/TermsConditions-B2B.pdf>

ChancelCheck® Guidance Note

Chancel Repair Liability Background

Chancel repair liability is a medieval anomaly whereby the Church of England and Wales was granted powers to charge those owning "rectorial land" for the upkeep of the chancel of some Parish Churches.

Chancel repair liability affects millions of acres in England and Wales and is still deemed a usual and necessary search by conveyancers.

Chancel repair liability can still be attached to land regardless of whether or not the liability is noted against the title, making the prospective risk unquantifiable.

The Church continues to actively register their interest, to protect their right to charge for chancel repair liability in perpetuity.

ChancelCheck® Identifies the Problem

ChancelCheck® is an online, low cost (£20 + VAT) screening report designed to inform the Homebuyer of any potential chancel repair liability. It is in accordance with the Conveyancing and CML Handbooks.

Certificate If the area of land selected falls within a parish that does not have the ability to claim for chancel repair liability, the search will be returned as a Certificate.

Report If the area of land selected falls within a parish that has the ability to claim for chancel repair liability, a potential liability will be returned and the search will come back as a Report. **Where an issue has been identified, ChancelSure® is available to cover the potential risk.**

NB. ChancelCheck® does not publish the relevant parish name to deter contacting the Church. Doing so will put the Church on notice of a potential liability and may lead to negating insurance cover.

ChancelSure® Offers a Solution

ChancelSure® is the market leading chancel repair indemnity product, providing comprehensive protection and security for the homeowner where a potential chancel liability has been identified. **ChancelSure®** offers a cost effective solution, protecting the owner/occupier, mortgagee, lessees and successors if required. **ChancelSure®** policies have been specifically designed to work in conjunction with **ChancelCheck®** and are fully compliant with both lender and Law Society requirements.

ChancelSure® insurance is part of the **ConveySure®** suite of legal indemnity insurance products, which are available from CLS and other authorised resellers.

ChancelSure® premiums start at £40.00 including IPT, a schedule of online premiums is provided overleaf.

Insurer Details The highest and most consistently-rated security, AA-, available through ERGO Versicherung AG, UK Branch.

Expert Underwriters The policies are underwritten by ERGO Versicherung AG, UK Branch and fully compliant with the requirements of Part II of the CML Handbook.

Period of Cover Cover is offered for 25, 35 years or in perpetuity. **ChancelSure®** policies offer full value indemnity insurance against claims and legal costs of up to £3m. All **ChancelSure®** policies include diminution of value cover.

Bespoke Policies Bespoke policies are available for larger areas, higher limits of indemnity, when there is prior knowledge of a risk, a Unilateral Notice registered or a caution lodged against the title. Email express@clsrs.co.uk for any enquiries.

Samples To download a sample policy, please visit www.cls.co.uk.

ChancelSure® Insurance Policy Premiums

ChancelSure® is the market leading chancel repair indemnity product, providing comprehensive protection and security for the homeowner where a potential chancel liability has been identified. CLS Risk Solutions Ltd underwrites ChancelSure® policies on behalf of ERGO Versicherung AG, UK Branch and therefore offers the highest and most consistently-rated security available in the UK Title Indemnity market (AA- rated since 2005/6 per Standard & Poor's).

The figures quoted below are our standard policy premiums (including IPT) which will apply to most properties. However, as chancel repair liability is a fluctuating risk, these figures may alter for some properties. In addition, we periodically review our underwriting data and may carry out further assessment before confirming the availability of cover. For a draft policy, please visit our website www.clsi.co.uk or contact our Underwriting Team at express@clsrs.co.uk.

ChancelSure® offers diminution in value and a 200% escalator clause as standard, with 25 year, 35 year and in perpetuity terms available. For lender compliant insurance policies (no cover notes with invoices payable by BACS or cheque within 14 days) log onto www.clsi.co.uk.

Residential Property (25 Years)

Limit of Indemnity	Residential Non Successor < 5 acres	Residential Successor < 5 acres	Residential Non Successor 5 – 10 acres	Residential Successor 5 – 10 acres
£100,000	£40.00	£65.00	£50.00	£90.00
£250,000	£54.00	£95.00	£75.00	£125.00
£500,000	£75.00	£125.00	£110.00	£150.00
£1,000,000	£94.00	£140.00	£130.00	£165.00
£1,500,000	£130.00	£175.00	£150.00	£195.00
£2,000,000	£150.00	£190.00	£175.00	£215.00
£2,500,000	£175.00	£210.00	£225.00	£275.00
£3,000,000	£210.00	£250.00	£275.00	£325.00

Residential Property (35 Years)

Limit of Indemnity	Residential Successor < 5 acres	Residential Successor 5 - 10 acres
£100,000	£80.00	£105.00
£250,000	£120.00	£145.00
£500,000	£145.00	£165.00
£1,000,000	£160.00	£185.00
£1,500,000	£185.00	£210.00
£2,000,000	£210.00	£240.00
£2,500,000	£225.00	£300.00
£3,000,000	£325.00	£423.00

Residential Property (In Perpetuity)

Residential Successor < 5 acres	Residential Successor 5 - 10 acres
£90.00	£125.00
£140.00	£165.00
£165.00	£180.00
£180.00	£215.00
£215.00	£240.00
£240.00	£300.00
£265.00	£350.00
£363.00	£472.00

Bespoke Policies

Bespoke policies are available for larger areas, higher limits of indemnity, when there is prior knowledge of a risk, a Unilateral Notice registered or a caution lodged against the title.

Please contact our underwriting team by email express@clsrs.co.uk.

ChancelSure® Insurance Policy Premiums

Commercial Property (25 Years)

Limit of Indemnity	Commercial Non Successor < 3 acres	Commercial Non Successor 3 - 5 acres	Commercial Non Successor 5 - 10 acres
£250,000	£130.00	£200.00	£250.00
£500,000	£220.00	£400.00	£550.00
£750,000	£450.00	£600.00	£750.00
£1,000,000	£500.00	£800.00	£900.00
£1,500,000	£700.00	£1,000.00	£1,300.00
£2,000,000	£1,250.00	£1,350.00	£1,500.00
£2,500,000	£1,400.00	£1,550.00	£1,700.00
£3,000,000	£1,600.00	£1,750.00	£1,900.00

Commercial Property (25 Years)

Limit of Indemnity	Commercial Successor < 3 acres	Commercial Successor 3 - 5 acres	Commercial Successor 5 – 10 acres
£250,000	£200.00	£300.00	£375.00
£500,000	£320.00	£600.00	£700.00
£750,000	£625.00	£850.00	£950.00
£1,000,000	£680.00	£1,100.00	£1,150.00
£1,500,000	£950.00	£1,250.00	£1,500.00
£2,000,000	£1,500.00	£1,750.00	£2,000.00
£2,500,000	£1,750.00	£2,000.00	£2,200.00
£3,000,000	£1,900.00	£2,150.00	£2,350.00

Bespoke Policies

Bespoke policies are available for larger areas, higher limits of indemnity, when there is prior knowledge of a risk, a Unilateral Notice registered or a caution lodged against the title.

Please contact our underwriting team by email express@clsrs.co.uk.

PCCB Guidance Note

IMPORTANT CONSUMER PROTECTION INFORMATION

This search has been produced by CLS Property Insight Limited (CLS); Suite 5, 40 Churchill Square, Kings Hill, West Malling, Kent, ME19 4YU (Call: 01732 897530, Email: info@clspropertyinsight.co.uk)

CLS Property Insight Limited is registered with the Property Codes Compliance Board (PCCB) as a subscriber to the Search Code. The PCCB independently monitors how registered firms maintain compliance with the Code.

The Search Code

- provides protection for homebuyers, sellers, estate agents, conveyancers, and mortgage lenders, who rely on the information included in property search reports undertaken by subscribers on residential and commercial property within the United Kingdom.
- sets out minimum standards which firms compiling and selling search reports have to meet.
- promotes the best practice and quality standards within the industry for the benefit of consumers and property professionals.
- enables consumers and property professionals to have confidence in firms which subscribe to the code, their products and services.

By giving you this information, the search firm is confirming that they keep to the principles of the Code. This provides important protection for you.

Core Principles

Search providers which subscribe to the Code will:

- display the Code logo prominently on their search reports
- act with integrity and carry out work with due skill, care and diligence
- at all times maintain adequate and appropriate insurance to protect consumers
- conduct business in an honest, fair and professional manner
- handle complaints speedily and fairly
- ensure that products and services comply with industry registration rules and standards
- monitor their compliance with the Code

Complaints

If you have a query or complaint about your search, you should raise it directly with the search firm, and if appropriate ask for any complaint to be considered under their formal internal complaints procedure. If you remain dissatisfied with the firm's final response, after your complaint has been formally considered, or if the firm has exceeded the response timescales, you may refer your complaint for consideration under The Property Ombudsman scheme (TPOs). The Ombudsman can award compensation of up to £5,000 to you if he finds that you have suffered actual loss as a result of your search provider failing to keep to the Code.

Please note that all queries or complaints regarding your search should be directed to your search provider in the first instance, not to TPOs or to the PCCB.

TPO's Contact Details:

The Property Ombudsman scheme; Milford House, 43-55 Milford Street Salisbury, Wiltshire, SP1 2BP. (Call: 01722 333 306, Fax: 01722 332 296, Email: admin@tpos.co.uk, Website: www.tpos.co.uk).

You can also get more information about the PCCB from www.propertycodes.org.uk

PLEASE ASK YOUR SEARCH PROVIDER IF YOU WOULD LIKE A COPY OF THE FULL SEARCH CODE

CLS Complaint Resolution Procedure

If you have a complaint regarding our services or products, please send the details to:
CLS Property Insight Limited, Suite 5, 40 Churchill Square, Kings Hill, West Malling, Kent,
ME19 4YU (Call: 01732 897530, Fax: 01732 897531, Email:
complaints@clspropertyinsight.co.uk).



Your complaint will be acknowledged within 5 working days of receipt and you should receive a written response within 20 working days. Where this is not possible, we will inform you of the reasons why and give an indication of when you should expect a response. If you have not received a response within 40 working days of original receipt of the complaint or you are not happy with the response given you may take one of the following actions:

- If your complaint is in relation to our search products you may refer your complaint to:
The Property Ombudsman scheme; Milford House, 43-55 Milford Street Salisbury, Wiltshire, SP1 2BP.
(Call: 01722 333 306, Fax: 01722 332 296, Email: admin@tpos.co.uk, Website: www.tpos.co.uk).
- If your complaint is in relation to our insurance products you may refer your complaint to:
Financial Ombudsman Service; Exchange Tower, Harbour Exchange Square, London, E14 9SR. (Call: 020 7964 1000, Fax: 020 7964 1001, Email: complaint.info@financial-ombudsman.org.uk).
- For details of the additional protection and benefits provided by commissioning a code compliant search product from an IPSA registered member please visit www.search-code.co.uk



TM Property Service Ltd.
743360 Swindon 31

Search address supplied	Land at, Albany Road, London, N18 2DY
Your reference	16685762
Our reference	CDWS/CDWS Standard/2017_3576915
Received date	25 May 2017
Search date	25 May 2017

From 1st April 2017, all non-household customers in England will be able to choose their water and sewerage retail services provider. This is due to a change in the law under the Water Act 2014, designed to introduce competition into the water industry.

This change will have an impact on the CommercialDW and will affect the answers to the following questions:

- Is a surface water drainage charge payable?
- Who bills the property for sewerage services?
- Who bills the property for water services?

Question 4.4 will now read - Is there a meter installed at this property?

For further information please visit our website at www.thameswater-propertysearches.co.uk



Thames Water Utilities Ltd
Property Searches, PO Box 3189, Slough SL1 4WW
DX 151280 Slough 13



searches@thameswater.co.uk
www.thameswater-propertysearches.co.uk



0845 070 9148

CON29DW
DRAINAGE AND WATER ENQUIRY



Question	Summary Answer
----------	----------------

Maps, Wayleaves, Easements, Manhole Cover and Invert levels

1.1	Where relevant, please include a copy of an extract from the public sewer map.	Map Provided
1.2	Where relevant, please include a copy of an extract from the map of waterworks.	Map Provided
1.3	Is there a wayleave/easement agreement giving Thames Water the right to lay or maintain assets or right of access to pass through private land in order to reach the Company's assets?	No
1.4	On the copy extract from the public sewer map, please show manhole cover, depth and invert levels where the information is available.	See Details

Drainage

2.1	Does foul water from the property drain to a public sewer?	See Details
2.2	Does surface water from the property drain to a public sewer?	See Details
2.3	Is a surface water drainage charge payable?	See Details
2.4	Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?	No
2.4.1	Does the public sewer map indicate any public pumping station or any other ancillary apparatus within the boundaries of the property?	No
2.5	Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?	See Details
2.5.1	Does the public sewer map indicate any public pumping station or any other ancillary apparatus within the 50metres of any buildings within the property?	No
2.6	Are any sewers or lateral drains serving, or which are proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?	No
2.7	Has a sewerage undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?	No
2.8	Is the building which is or forms part of the property, at risk of internal flooding due to overloaded public sewers?	Not At Risk
2.9	Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.	1.648 Kilometres

Water

3.1	Is the property connected to mains water supply?	See Details
3.2	Are there any water mains, resource mains or discharge pipes within the boundaries of the property?	No
3.3	Is any water main or service pipe serving or which is proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?	No
3.4	Is the property at risk of receiving low water pressure or flow?	See Details
3.5	What is the classification of the water supply for the property?	See Details
3.6	Please include details of the location of any water meter serving the property.	See Details

Question

Summary Answer

Charging

4.1.1	Who are the sewerage undertakers for the area?	Thames Water
4.1.2	Who are the water undertakers for the area?	Thames Water
4.2	Who bills the property for sewerage services?	See Details
4.3	Who bills the property for water services?	See Details
4.4	Is there a meter installed at this property?	No
4.5	Are there any trade effluent consents relating to this site/property for disposal of chemically enhanced waste?	No

Search address supplied: Land at, Albany Road, London, N18 2DY

Any new owner or occupier will need to contact Thames Water on 0800 316 9800 or log onto our website www.thameswater.co.uk and complete our online form to change the water and drainage services bills to their name.

The following records were searched in compiling this report: - the map of public sewers, the map of waterworks, water and sewer billing records, adoption of public sewer records, building over public sewer records, the register of properties subject to internal foul flooding, the register of properties subject to poor water pressure and the drinking water register. Thames Water Utilities Ltd (TWUL) holds all of these.

TWUL, trading as Property Searches, are responsible in respect of the following:-

- (i) any negligent or incorrect entry in the records searched
- (ii) any negligent or incorrect interpretation of the records searched
- (iii) any negligent or incorrect recording of that interpretation in the search report
- (iv) and compensation payments

Please refer to the attached [Terms & Conditions](#). Customers and clients are asked to note these terms, which govern the basis on which this Commercial Drainage and Water search is supplied.



Thames Water Property Searches is an Executive member of CoPSO (Council of Property Search Organisations).

Maps, Wayleaves, Easements, Manhole Cover and Invert levels

1.1 Where relevant, please include a copy of an extract from the public sewer map.

A copy of an extract of the public sewer map is included, showing the public sewers, disposal mains and lateral drains in the vicinity of the property.

1.2 Where relevant, please include a copy of an extract from the map of waterworks.

A copy of an extract of the map of waterworks is included, showing water mains, resource mains or discharge pipes in the vicinity of the property.

1.3 Wayleaves & Easements

Is there a wayleave/easement agreement giving Thames Water the right to lay or maintain assets or right of access to pass through private land in order to reach the Company's assets?

No.

1.4 Manhole

On the copy extract from the public sewer map, please show manhole cover, depth and invert levels where the information is available.

Details of any manhole cover and invert levels applicable to this site are enclosed.

Drainage

2.1 Does foul water from the property drain to a public sewer?

The enquiry appears to relate to a plot of land or a recently built property. It is recommended that drainage proposals are checked with the developer.

2.2 Does surface water from the property drain to a public sewer?

Records indicate that this enquiry relates to a plot of land or a recently built property. It is recommended that the drainage proposals are checked with the developer. If the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System (SuDS). Further information may be available from the Developer.

2.3 Is a surface water drainage charge payable?

This enquiry appears to relate to a plot of land or a recently built property. It is recommended that charging proposals are checked with the developer. If the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System (SuDS). Further information may be available from the Developer.

2.4 Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundary of the property?

The public sewer map indicates that there are no public sewers, disposal mains or lateral drains within the boundaries of the property. However, from the 1st October 2011 there may be lateral drains and/or public sewers which are not recorded on the public sewer map but which may prevent or restrict development of the property.

2.4.1 Does the public sewer map indicate any public pumping station or any other ancillary apparatus within the boundaries of the property?

The public sewer map included indicates that there is no public pumping station within the boundaries of the property.

2.5 Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?

The public sewer map indicates that there are no public sewers within 30.48 metres (100 feet) of any buildings within the property.

However, from the 1st October 2011 many private sewers were transferred into public ownership and may not be recorded on the public sewer map and it is our professional opinion that if the property is connected to a foul sewer it is likely that there will be a public sewer within 30.48 metres (100 feet) of any buildings within the property.

2.5.1 Does the public sewer map indicate any public pumping station or any other ancillary apparatus within 50 metres of any buildings within the property?

The public sewer map included indicates that there is no public pumping station within 50 metres of any buildings within the property.

2.6 Are any sewers or lateral drains serving, or which are proposed to serve, the property the subject of an existing adoption agreement or an application for such an agreement?

Records confirm that Foul sewers serving the development, of which the property forms part are not the subject of an existing adoption agreement or an application for such an agreement.

The Surface Water sewer(s) and/or Surface Water lateral drain(s) are not the subject of an adoption agreement.

2.7 Has a sewerage undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?

There are no records in relation to any approval or consultation about plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain. However, the sewerage undertaker might not be aware of a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain.

2.8 Is the building which is or forms part of the property, at risk of internal flooding due to overloaded public sewers?

The property is not recorded as being at risk of internal flooding due to overloaded public sewers.

From the 1st October 2011 most private sewers, disposal mains and lateral drains were transferred into public ownership. It is therefore possible that a property may be at risk of internal flooding due to an overloaded public sewer which the sewerage undertaker is not aware of. For further information it is recommended that enquiries are made of the vendor.

2.9 Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.

The nearest sewage treatment works is Deephams STW which is 1.648 kilometres to the north east of the property.

Water

3.1 Is the property connected to mains water supply?

The enquiry appears to relate to a plot of land or a recently built property. It is recommended that the water proposals are checked with the developer.

3.2 Are there any water mains, resource mains or discharge pipes within the boundary of the property?

The map of waterworks does not indicate any water mains, resource mains or discharge pipes within the boundaries of the property.

3.3 Is any water main or service pipe serving, or which is proposed to serve, the property the subject of an existing adoption agreement or an application for such an agreement?

Records confirm that water mains or service pipes serving the property are not the subject of an existing adoption agreement or an application for such an agreement.

3.4 Is the property at risk of receiving low water pressure or flow?

Records confirm that the property is not recorded on a register kept by the water undertaker as being at risk of receiving low water pressure or flow.

3.5 What is the classification of the water supply for the property?

The water supplied to the property has an average water hardness of 105.8mg/l calcium which is defined as Hard by Thames Water.

3.6 Please include details of the location of any water meter serving the property.

This enquiry appears to relate to a plot of land or a recently built property. It is recommended that drainage proposals are checked with the developer.

Charging

4.1.1 – Who is responsible for providing the sewerage services for the property?

Thames Water Utilities Limited, Clearwater Court, Reading, RG1 8DB is the sewerage undertaker for the area.

4.1.2 – Who is responsible for providing the water services for the property?

Thames Water Utilities Limited, Clearwater Court, Reading, RG1 8DB is the water undertaker for the area.

4.2 Who bills the property for sewerage services?

If you wish to know who bills the sewerage services for this property then you will need to contact the current owner. For a list of all potential retailers of sewerage services for the property please visit www.open-water.org.uk

4.3 Who bills the property for water services?

If you wish to know who bills the water services for this property then you will need to contact the current owner. For a list of all potential retailers of water services for the property please visit www.open-water.org.uk

4.4 Is there a meter installed at this property?

Records indicate that there is no meter installed at this property.

4.5 Trade Effluent Consent

Are there any trade effluent consents relating to this site/property for disposal of chemically enhanced waste?

No.

Payment for this Search

A charge will be added to your suppliers account.

Please note that none of the charges made for this report relate to the provision of Ordnance Survey mapping information.

NB. Levels quoted in metres Ordnance Newlyn Datum. The value -9999.00 indicates no survey information is available.



















Manhole Reference	Manhole Cover Level	Manhole Invert Level
9113	n/a	n/a
9109	10.8	9.63
9111	10.81	9.74
9106	n/a	n/a
9110	10.32	9.27
9112	10.33	9.54
91BI	n/a	n/a
9105	10.36	9.24
91AJ	n/a	n/a
9104	10.29	9.21
91BE	n/a	n/a
91CH	n/a	n/a
91BA	n/a	n/a
91BF	n/a	n/a
91BB	n/a	n/a
91BG	n/a	n/a
921A	n/a	n/a
91BC	n/a	n/a
021A	n/a	n/a
0101	10.59	9.19
01BH	n/a	n/a
01BJ	n/a	n/a
0102	10.47	9.13
0103	10.66	9.19
011A	n/a	n/a
0104	10.56	9.09
0205	11.06	9.57
01CB	n/a	n/a
01CD	n/a	n/a
0105	n/a	n/a
0106	10.86	9.05
0107	10.69	9.02
0117	n/a	n/a
0206	14.67	12.14
0108	10.91	9.06
0109	n/a	n/a
0110	10.98	6.96
0111	15.52	13.74
0208	n/a	n/a
0112	15.96	14.2
0001	n/a	n/a
1001	n/a	n/a
1101	n/a	n/a
1102	n/a	n/a
1103	11.02	6.8

The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified and established on site before any works are undertaken.








Sewer Key - Commercial Drainage and Water Enquiry

Public Sewer Types (Operated & Maintained by Thames Water)

-  **Foul:** A sewer designed to convey waste water from domestic and industrial sources to a treatment works.
-  **Surface Water:** A sewer designed to convey surface water (e.g. rain water from roofs, yards and car parks) to rivers or watercourses.
-  **Combined:** A sewer designed to convey both waste water and surface water from domestic and industrial sources to a treatment works.
-  Trunk Surface Water
-  Trunk Foul
-  Storm Relief
-  Trunk Combined
-  Vent Pipe
-  Bio-solids (Sludge)
-  Proposed Thames Surface Water Sewer
-  Proposed Thames Water Foul Sewer
-  Gallery
-  Foul Rising Main
-  Surface Water Rising Main
-  Combined Rising Main
-  Sludge Rising Main
-  Proposed Thames Water Rising Main
-  Vacuum





Sewer Fittings

A feature in a sewer that does not affect the flow in the pipe. Example: a vent is a fitting as the function of a vent is to release excess gas.

-  Air Valve
-  Dam Chase
-  Fitting
-  Meter
-  Vent Column




Operational Controls

A feature in a sewer that changes or diverts the flow in the sewer. Example: A hydrobrake limits the flow passing downstream.

-  Control Valve
-  Drop Pipe
-  Ancillary
-  Weir






End Items

End symbols appear at the start or end of a sewer pipe. Examples: an Undefined End at the start of a sewer indicates that Thames Water has no knowledge of the position of the sewer upstream of that symbol, Outfall on a surface water sewer indicates that the pipe discharges into a stream or river.

-  Outfall
-  Undefined End
-  Inlet






Other Symbols

Symbols used on maps which do not fall under other general categories








-  /  Public/Private Pumping Station
-  Change of characteristic indicator (C.O.C.I.)
-  Invert Level
-  Summit

Areas

Lines denoting areas of underground surveys, etc.

-  Agreement
-  Operational Site
-  Chamber
-  Tunnel
-  Conduit Bridge

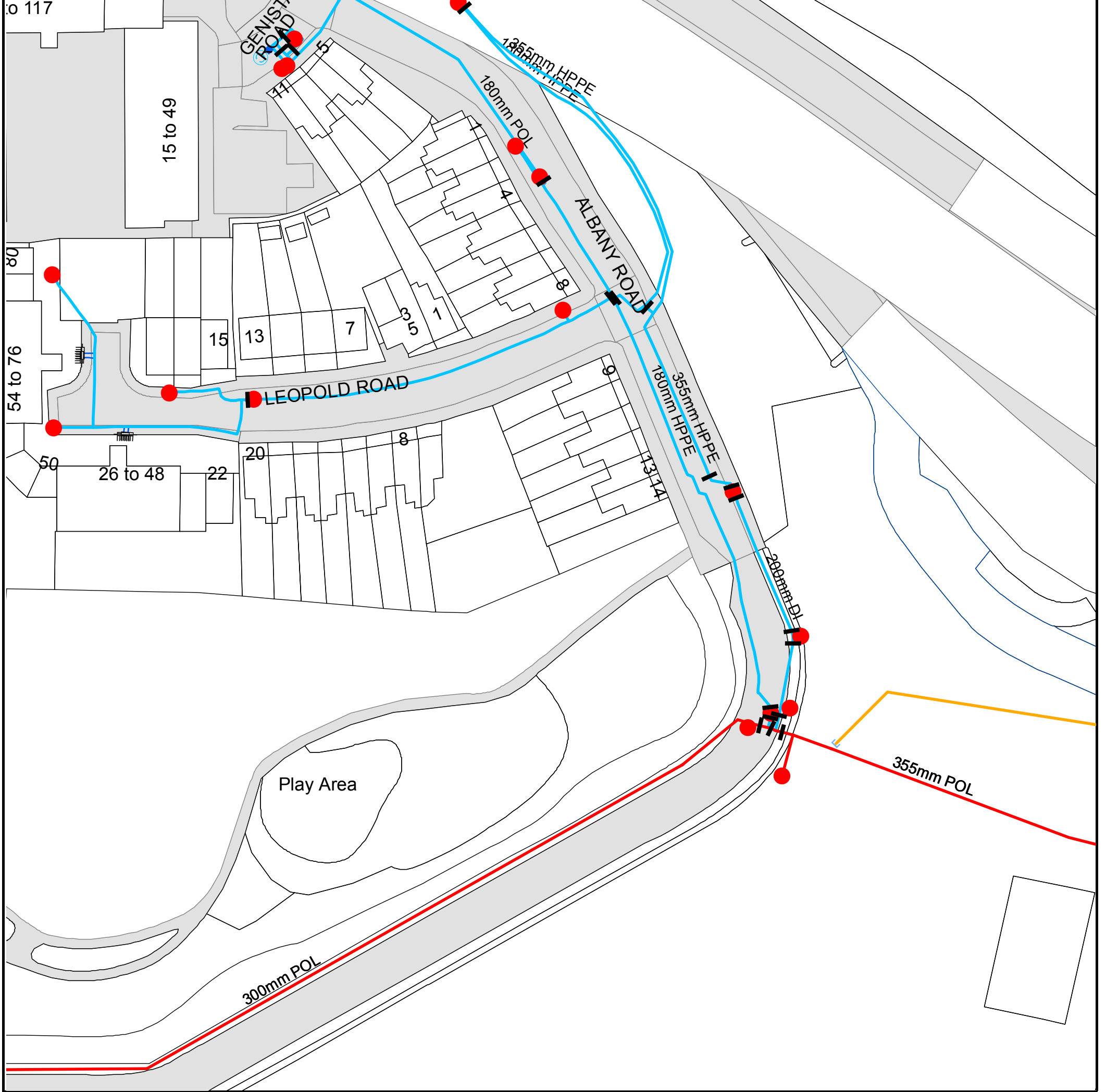
Other Sewer Types (Not Operated or Maintained by Thames Water)

-  Foul Sewer
-  Surface Water Sewer
-  Combined Sewer
-  Gully
-  Culverted Watercourse
-  Proposed
-  Abandoned Sewer

Notes:

- 1) All levels associated with the plans are to Ordnance Datum Newlyn.
- 2) All measurements on the plans are metric.
- 3) Arrows (on gravity fed sewers) or flecks (on rising mains) indicate direction of flow.
- 4) Most private pipes are not shown on our plans, as in the past, this information has not been recorded.
- 5) 'na' or '0' on a manhole level indicates that data is unavailable.

- 6) The text appearing alongside a sewer line indicates the internal diameter of the pipe in millimetres. Text next to a manhole indicates the manhole reference number and should not be taken as a measurement. If you are unsure about any text or symbology present on the plan, please contact a member of Property Searches on 0118 925 1504.



The width of the displayed area is 200m


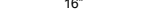
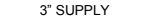




The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified and established on site before any works are undertaken.

Based on the Ordnance Survey Map with the Sanction of the controller of H.M. Stationery Office, License no. 100019345 Crown Copyright Reserved.







Waterworks Key - Commercial Drainage and Water Enquiry


Water Pipes (Operated & Maintained by Thames Water)

- 
4" Distribution Main: The most common pipe shown on water maps. With few exceptions, domestic connections are only made to distribution mains.
- 
16" Trunk Main: A main carrying water from a source of supply to a treatment plant or reservoir, or from one treatment plant or reservoir to another. Also a main transferring water in bulk to smaller water mains used for supplying individual customers.
- 
3" SUPPLY Supply Main: A supply main indicates that the water main is used as a supply for a single property or group of properties.
- 
3" FIRE Fire Main: Where a pipe is used as a fire supply, the word FIRE will be displayed along the pipe.
- 
3" METERED Metered Pipe: A metered main indicates that the pipe in question supplies water for a single property or group of properties and that quantity of water passing through the pipe is metered even though there may be no meter symbol shown.
- 
Transmission Tunnel: A very large diameter water pipe. Most tunnels are buried very deep underground. These pipes are not expected to affect the structural integrity of buildings shown on the map provided.
- 
Proposed Main: A main that is still in the planning stages or in the process of being laid. More details of the proposed main and its reference number are generally included near the main.

Valves

-  General Purpose Valve
-  Air Valve
-  Pressure Control Valve
-  Customer Valve

Hydrants








-  Single Hydrant

Meters










-  Meter

End Items

Symbol indicating what happens at the end of a water main.

-  Blank Flange
-  Capped End
-  Emptying Pit
-  Undefined End
-  Manifold
-  Customer Supply
-  Fire Supply



Operational Sites

-  Booster Station
-  Other
-  Other (Proposed)
-  Pumping Station
-  Service Reservoir
-  Shaft Inspection
-  Treatment Works
-  Unknown
-  Water Tower

Other Symbols

-  Data Logger

Other Water Pipes (Not Operated or Maintained by Thames Water)

-  **Other Water Company Main:** Occasionally other water company water pipes may overlap the border of our clean water coverage area. These mains are denoted in purple and in most cases have the owner of the pipe displayed along them.
-  **Private Main:** Indicates that the water main in question is not owned by Thames Water. These mains normally have text associated with them indicating the diameter and owner of the pipe.

PIPE DIAMETER	DEPTH BELOW GROUND
Up to 300mm (12")	900mm (3')
300mm - 600mm (12" - 24")	1100mm (3' 8")
600mm and bigger (24" plus)	1200mm (4')

For your guidance:

- Thames Water Property Searches Complaints Procedure:
 - Thames Water Property Searches offers a robust complaints procedure. Complaints can be made by telephone, in writing, by email (searches@thameswater.co.uk) or through our website (www.thameswater-propertysearches.co.uk)

As a minimum standard Thames Water Property Searches will:

- endeavour to resolve any contact or complaint at the time of receipt. If this isn't possible, we will advise of timescales;
- investigate and research the matter in detail to identify the issue raised (in some cases third party consultation will be required);
- provide a response to the customer within 10 working days of receipt of the complaint;
- provide compensation, if no response or acknowledgment that we are investigating the case is given within 10 working days of receipt of the complaint;
- keep you informed of the progress and, depending on the scale of investigation required, update with new timescales as necessary;
- provide an amended search, free of charge, if required;
- provide a refund if we find your complaint to be justified; take the necessary action within our power to put things right.

If you want us to liaise with a third party on your behalf, just let us know.

If you are still not satisfied with the outcome provided, we will refer the matter to a Senior Manager, for resolution, who will respond again within 5 working days.

If you remain dissatisfied with our final response you may refer your complaint for consideration under The Property Ombudsman scheme (TPOs). Please refer to the final page of the search for further details.

Question 1.1

For your guidance:

- The Water Industry Act 1991 defines Public Sewers as those which Thames Water have responsibility for. Other assets and rivers, watercourses, ponds, culverts or highway drains may be shown for information purposes only.
- The company is not generally responsible for rivers, watercourses, ponds, culverts or highway drains. If any of these are shown on the copy extract they are shown for information only.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.
- Assets other than public sewers may be shown on the copy extract, for information.

Question 1.2

For your guidance:

- The “water mains” in this context are those, which are vested in and maintainable by the water company under statute.
- Assets other than public water mains may be shown on the plan, for information only.
- Water companies are not responsible for private supply pipes connecting the property to the public water main and do not hold details of these. These may pass through land outside of the control of the seller, or may be shared with adjacent properties. The buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.
- If an extract of the public water main record is enclosed, this will show known public water mains in the vicinity of the property. It should be possible to estimate the likely length and route of any private water supply pipe connecting the property to the public water network.

Question 2.1

For your guidance:

- Water companies are not responsible for any private drains that connect the property to the public sewerage system and do not hold details of these. The property owner will normally have sole responsibility for private drains serving the property. These may pass through land outside the control of the seller and the buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.
- If foul water does not drain to the public sewerage system, the property may have private facilities in the form of a cesspit, septic tank or other type of treatment plant.
- An extract from the public sewer map is enclosed. This will show known public sewers in the vicinity of the property and it should be possible to estimate the likely length and route of any private drains and/or sewers connecting the property to the public sewerage system.

Question 2.2

For your guidance:

- Sewerage Undertakers are not responsible for any private drains that connect the property to the public sewerage system, and do not hold details of these.
- The property owner will normally have sole responsibility for private drains serving the property. These private drains may pass through land outside of the control of the seller and the buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.
- In some cases, ‘Sewerage Undertakers’ records do not distinguish between foul and surface water connections to the public sewerage system.
- At the time of privatisation in 1989, Sewerage Undertakers were sold with poorly-kept records of sewerage infrastructure. The records did not always show which properties were connected for surface water drainage purposes. Accordingly, billing records have been used to provide an answer for this element of the drainage and water search.
- Due to the potential inadequacy of ‘Sewerage Undertakers’ infrastructure records with respect to surface water drainage, it is the customer’s responsibility to inform the Sewerage Undertaker that they do not receive the surface water drainage service. If on inspection, the buyer finds that surface water from the property does not drain to a public sewer, then the property may be eligible for a rebate of the surface water drainage charge. If you wish to know who bills the sewerage services for this property then you will need to contact the current owner. For a list of all potential retailers of sewerage services for the property please visit www.open-water.org.uk.
- If surface water from the property does not drain to the public sewerage system, the property may have private facilities in the form of a soakaway or private connection to a watercourse.
- An extract from the public sewer map is enclosed. This will show known public sewers in the vicinity of the property and it should be possible to estimate the likely length and route of any private drains and/or sewers connecting the property to the public sewerage system.

Question 2.3

For your guidance:

- If surface water from the property drains to a public sewer, then a surface water drainage charge is payable.
- Where a surface water drainage charge is currently included in the property's water and sewerage bill but, on inspection, the buyer finds that surface water from the property does not drain to a public sewer, then the property may be eligible for a rebate of the surface water drainage charge. If you wish to know who bills the sewerage services for this property then you will need to contact the current owner. For a list of all potential retailers of sewerage services for the property please visit www.open-water.org.uk.

Question 2.4

For your guidance:

- Thames Water has a statutory right of access to carry out work on its assets. Employees of Thames Water or its contractors may, therefore, need to enter the property to carry out work.
- Please note if the property was constructed after 1st July 2011 any sewers and/or lateral drain within the boundary of the property are the responsibility of the householder.
- The approximate boundary of the property has been determined by reference to the Ordnance Survey Record or the map supplied.
- The presence of a public sewer running within the boundary of the property may restrict further development. The Company has a statutory right of access to carry out work on its assets, subject to notice. This may result in employees of the Company, or its contractors, needing to enter the property to carry out work.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.

Question 2.4.1

For your guidance:

- Private pumping stations installed before 1st July 2011 will be transferred into the ownership of the sewerage undertaker.
- From the 1st October 2016 private pumping stations which serve more than one property have been transferred into public ownership but may not be recorded on the public sewer map.
- The approximate boundary of the property has been determined by reference to the Ordnance Survey Record or the map supplied.
- The presence of a public pumping station within the boundary of the property may restrict further development. The company has a statutory right of access to carry out work on its assets, subject to notice. This may result in employees of the company, or its contractors, needing to enter the property to carry out work.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.

Question 2.5

For your guidance:

- This is because there are no buildings from which to measure the distance to any public sewers.
- The presence of a public sewer within 30.48 metres (100 feet) of the building(s) within the property can result in the local authority requiring a property to be connected to the public sewer.
- The measurement is estimated from the Ordnance Survey record, between the building(s) within the boundary of the property and the nearest public sewer.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.

Question 2.5.1

For your guidance:

- Private pumping stations installed before 1st July 2011 will be transferred into the ownership of the sewerage undertaker.
- From the 1st October 2016 private pumping stations which serve more than one property have been transferred into public ownership but may not be recorded on the public sewer map.
- The presence of a public pumping station within 50 metres of the building(s) within the property can result in the local authority requiring a property to be connected to the public sewer.
- The measurement is estimated from the Ordnance Survey record, between the building(s) within the boundary of the property and the nearest public sewer.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.

Question 2.6

For your guidance:

- Any sewers and/or lateral drains within the boundary of the property are not the subject of an adoption agreement and remain the responsibility of the householder. Adoptable sewers are normally those situated in the public highway.
- This enquiry is of interest to purchasers who will want to know whether or not the property will be linked to a public sewer.
- Where the property is part of a very recent or ongoing development and the sewers are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains and sewers for which they will hold maintenance and renewal liabilities.
- Final adoption is subject to the developer complying with the terms of the adoption agreement under Section 104 of the Water Industry Act 1991 and meeting the requirements of 'Sewers for Adoption' 6th Edition.

Question 2.7

For your guidance:

- From the 1st October 2011 most private sewers, disposal mains and lateral drains were transferred into public ownership and the sewerage undertaker may not have been approved or consulted about any plans to erect a building or extension on the property over or in the vicinity of these.
- Buildings or extensions erected over a sewer in contravention of building controls may have to be removed or altered.

Question 2.8

For your guidance:

- For reporting purposes buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.
- A sewer is “overloaded” when the flow from a storm is unable to pass through it due to a permanent problem (e.g. flat gradient, small diameter). Flooding as a result of temporary problems such as blockages, siltation, collapses and equipment or operational failures are excluded.
- “Internal flooding” from public sewers is defined as flooding, which enters a building or passes below a suspended floor. For reporting purposes, buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.
- “At Risk” properties are those that the water company is required to include in the Regulatory Register that is presented annually to the Director General of Water Services. These are defined as properties that have suffered, or are likely to suffer, internal flooding from public foul, combined or surface water sewers due to overloading of the sewerage system more frequently than the relevant reference period (either once or twice in ten years) as determined by the Company’s reporting procedure.
- Flooding as a result of storm events proven to be exceptional and beyond the reference period of one in ten years are not included on the At Risk Register.
- Properties may be at risk of flooding but not included on the Register where flooding incidents have not been reported to the Company.
- Public Sewers are defined as those for which the Company holds statutory responsibility under the Water Industry Act 1991.
- It should be noted that flooding can occur from private sewers and drains which are not the responsibility of the Company. This report excludes flooding from private sewers and drains and the Company makes no comment upon this matter.
- For further information please contact Thames Water Utilities Ltd on Tel: 0800 316 9800 or website www.thameswater.co.uk

Question 2.9

For your guidance:

- The nearest sewage treatment works will not always be the sewage treatment works serving the catchment within which the property is situated.
- The sewerage undertaker’s records were inspected to determine the nearest sewage treatment works.
- It should be noted that there may be a private sewage treatment works closer than the one detailed above that has not been identified.
- As a responsible utility operator, Thames Water Utilities Ltd seeks to manage the impact of odour from operational sewage works on the surrounding area. This is done in accordance with the Code of Practice on Odour Nuisance from Sewage Treatment Works issued via the Department of Environment, Food and Rural Affairs (DEFRA). This Code recognises that odour from sewage treatment works can have a detrimental impact on the quality of the local environment for those living close to works. However DEFRA also recognises that sewage treatment works provide important services to communities and are essential for maintaining standards in water quality and protecting aquatic based environments. For more information visit www.thameswater.co.uk

Question 3.1

For your guidance:

- The Company does not keep details of private supplies. The situation should be checked with the current owner of the property.

Question 3.2

For your guidance:

- The boundary of the property has been determined by reference to the plan supplied. Where a plan was not supplied, the Ordnance Survey Record was used. If the Water undertaker mentioned in Question 4.1.2 is not Thames Water Utilities Ltd the boundary of the property has been determined by the Ordnance Survey.
- The presence of a public water main within the boundary of the property may restrict further development within it. Water companies have a statutory right of access to carry out work on their assets, subject to notice. This may result in employees of the Company, or its contractors, needing to enter the property to carry out work.

Question 3.3

For your guidance:

- This enquiry is of interest to purchasers who will want to know whether or not the property will be linked to the mains water supply.

Question 3.4

For your guidance:

- “Low water pressure” means water pressure below the regulatory reference level, which is the minimum pressure when demand on the system is not abnormal.
- Water Companies are required to include in the Regulatory Register that is presented annually to the Director General of Water Services, properties receiving pressure below the reference level, provided that allowable exclusions do not apply (i.e. events which can cause pressure to temporarily fall below the reference level)
- The reference level of service is a flow of 9 litres/minute at a pressure of 10metres / head on the customer's side of the outside stop valve (osv). The reference level of service must be applied on the customer's side of a meter or any other company fittings that are on the customer's side of the main stop tap. The reference level applies to a single property. Where more than one property is served by a common service pipe, the flow assumed in the reference level must be appropriately increased to take account of the total number of properties served. For two properties, a flow of 18 litres/minute at a pressure of 10metres/head on the customers' side of the osv is appropriate. For three or more properties the appropriate flow should be calculated from the standard loadings provided in BS6700 or the Institute of Plumbing handbook.
- **Allowable exclusions** The Company is required to include in the Regulatory Register properties receiving pressure below the reference level, provided that allowable exclusions listed below do not apply.
- **Abnormal demand:** This exclusion is intended to cover abnormal peaks in demand and not the daily, weekly or monthly peaks in demand, which are normally expected. Companies should exclude from the reported figures properties which are affected by low pressure only on those days with the highest peak demands. During the report year companies may exclude, for each property, up to five days of low pressure caused by peak demand.
- **Planned maintenance:** Companies should not report low pressures caused by planned maintenance. It is not intended that companies identify the number of properties affected in each instance. However, companies must maintain sufficiently accurate records to verify that low-pressure incidents that are excluded because of planned maintenance are actually caused by maintenance.
- **One-off incidents:** This exclusion covers a number of causes of low pressure; mains bursts; failures of company equipment (such as pressure reducing valves or booster pumps); firefighting; and action by a third party. However, if problems of this type affect a property frequently, they cannot be classed as one-off events and further investigation will be required before they can be excluded.
- **Low-pressure incidents of short duration:** Properties affected by low pressure, which only occur for a short period, and for which there is evidence that incidents of a longer duration would not occur during the course of the year, may be excluded from the reported figures.
- Please contact your water undertaker mentioned in Question 4.1.2 if you require further information on water pressure.

Question 3.5

For your guidance:

- Water hardness can be expressed in various indices for example the hardness settings for dishwashers are commonly expressed in Clark's degrees, but check with the manufacturer as there are also other units. The following table shows the normal ranges of hardness.

Thames Water Hardness Category	Calcium (mg/l)	Calcium Carbonate (mg/l)	English Clarke degrees	French degrees	General/ Ger degrees
Soft	0 to 40	0 to 100	0 to 7	0 to 10	0 to 5.6
Medium	41 to 80	101 to 200	8 to 14	11 to 20	5.7 to 11.2
Hard	Over 80	Over 200	Over 14	Over 20	over 11.2

- Please contact your water undertaker mentioned in Question 4.1.2 if you require further information on water hardness.

Question 3.6

For your guidance:

- Where a meter does not serve the property and the customer wishes to consider this method of charging, they should contact the current owner if they wish to know who bills the water services for this property. For a list of all potential retailers of water services for the property please visit www.open-water.org.uk.

Question 4.4

For your guidance:

- The Water Industry Act 1991 Section 150, The Water Resale Order 2001 provides protection for people who buy their water or sewerage services from a person or company instead of directly from a water or sewerage company. Details are available from the Office of Water Services (OFWAT) website is www.ofwat.gov.uk.
- The Company may install a meter at the premises where a buyer makes a change of use of the property or where the buyer uses water for:
 - Watering the garden other than by hand (this includes the use of sprinklers).
 - Automatically replenishing a pond or swimming pool with a capacity greater than 10,000 litres.
 - A bath with a capacity in excess of 230 litres.
 - A reverse osmosis unit
- Where a meter does not serve the property and the customer wishes to consider this method of charging, they should contact the current owner if they wish to know who bills the sewerage and water services for this property. For a list of all potential retailers of sewerage and water services for the property please visit www.open-water.org.uk.

Question 4.5

For your guidance:

- If a Trade effluent consent applies to the premises which are the subject of this search, it is for the applicant to satisfy itself as to the suitability of the consent for its client's requirements. The occupier of any trade premises in the area of a sewerage undertaker may discharge any trade effluent proceeding from those premises into the undertaker's public sewers if he does so with the undertaker's consent. If, in the case of any trade premises, any trade effluent is discharged without such consent or other authorisation, the occupier of the premises shall be guilty of an offence.
- Please note any existing consent is dependent on the business being carried out at the property and will not transfer automatically upon change of ownership.
- For further information regarding Trade Effluent consents please contact: Trade Effluent Control, Crossness STW, Belvedere Road, Abbey Wood London SE2 9AQ.

CommercialDW Drainage and Water Enquiry Terms and Conditions

Customer and Clients are asked to note these terms, which govern the basis on which this CommercialDW Drainage & Water Enquiry is supplied

Definitions

'Client' means the person, company or body who is the intended recipient of the Report with an actual or potential interest in the Property.

'Company' means a water service company or their data service provider producing the Report.

'Customer' means the person, company, firm or other legal body placing the Order, either on their own behalf as Client, or, as an agent for a Client.

'Order' means any request completed by the Customer requesting the Report.

'Property' means the address or location supplied by the Customer in the Order.

'Report' means the drainage and/or water report prepared by The Company in respect of the Property.

'Thames Water' means Thames Water Utilities Limited registered in England and Wales under number 2366661 whose registered office is at Clearwater Court, Vastern Road, Reading, Berks, RG1 8DB;

Agreement

1 Thames Water agrees to supply the Report to the Customer and the Client subject to these terms. The scope and limitations of the Report are described in paragraph 2 of these terms. Where the Customer is acting as an agent for the Client then the Customer shall be responsible for bringing these terms to the attention of the Client. The Customer and Client agree that the placing of an Order for a Report indicates their acceptance of these terms.

The Report

2. Whilst Thames Water will use reasonable care and skill in producing the Report, it is provided to the Customer and the Client on the basis that they acknowledge and agree to the following:-

2.1 The information contained in the Report can change on a regular basis so Thames Water cannot be responsible to the Customer and the Client for any change in the information contained in the Report after the date on which the Report was produced and sent to the Client.

2.2 The Report does not give details about the actual state or condition of the Property nor should it be used or taken to indicate or exclude actual suitability or unsuitability of the Property for any particular purpose, or relied upon for determining saleability or value, or used as substitute for any physical investigation or inspection. Further advice and information from appropriate experts and professionals should always be obtained.

2.3 The information contained in the Report is based upon the accuracy, completeness and legibility of the address and other information supplied by the Customer or Client.

2.4 The Report provides information as to the location and connection of existing services and should not be relied on for any other purpose. The Report may contain opinions or general advice to the Customer and the Client and Thames Water cannot ensure that any such opinion or general advice is accurate, complete or valid and accepts no liability therefore.

2.5 The position and depth of apparatus shown on any maps attached to the Report are approximate, and are furnished as a general guide only, and no warranty as to its correctness is given or implied. The exact positions and depths should be obtained by excavation trial holes and the maps must not be relied on in the event of excavation or other works made in the vicinity of apparatus shown on any maps.

Liability

3 Thames Water shall not be liable to the Client for any failure, defect or non-performance of its obligations arising from any failure of, or defect in any machine, processing system or transmission link or anything beyond Thames Water's reasonable control or the acts or omissions of any party for whom Thames Water are not responsible.

3.1 Where the Customer sells this report to a Client (other than in the case of a bona fide legal adviser recharging the cost of the Report as a disbursement) Thames Water shall not in any circumstances (whether for breach of contract, negligence or any other tort, under statute or statutory duty or otherwise at all) be liable for any loss or damage whatsoever and the Customer shall indemnify Thames Water in respect of any claim by the Client.

3.2 Where a report is requested for an address falling within a geographical area where Thames Water and another Company separately provide Water and Sewerage Services, then it shall be deemed that liability for the information given by Thames Water or the Company as the case may be will remain with Thames Water or the Company as the case may be in respect of the accuracy of the information supplied. Where Thames Water is supplying information which has been provided to it by another Company for the purposes outlined in this agreement Thames Water will therefore not be liable in any way for the accuracy of that information and will supply that information as agent for the Company from which the information was obtained.

3.3 Except in respect of death or personal injury caused by negligence, or as expressly provided in these Terms:

3.3.1 The entire liability of Thames Water or the Company as the case may be in respect of all causes of action arising under or in connection with the Report (whether for breach of contract, negligence or any other tort, under statute or statutory duty or otherwise at all) shall not exceed £2,000,000 (two million pounds); and

3.3.2 Thames Water shall not in any circumstances (whether for breach of contract, negligence or any other tort, under statute or statutory duty or otherwise at all) be liable for any loss of profit, loss of goodwill, loss of

reputation, loss of business or any indirect, special or consequential loss, damage or other claims, costs or expenses;

Copyright and Confidentiality

4. The Customer and the Client acknowledge that the Report is confidential and is intended for the personal use of the Client. The copyright and any other intellectual property rights in the Report shall remain the property of Thames Water or the Company as the case may be. No intellectual or other property rights are transferred or licensed to the Customer or the Client except to the extent expressly provided

4.1 The Customer or Client is entitled to make copies of the Report but is not permitted to copy any maps contained in, or attached to the Report

4.2 The maps contained in the Report are protected by Crown Copyright and must not be used for any purpose outside the context of the Report.

4.3 The Customer and Client agree (in respect of both the original and any copies made) to respect and not to alter any trademark, copyright notice or other property marking which appears on the Report.

Payment

5. Unless otherwise stated all prices are inclusive of VAT. The Customer shall pay for the price of the Report specified by Thames Water, without any set off, deduction or counterclaim.

5.1 Unless payment has been received in advance, Customers shall be invoiced for the agreed fee once their request has been processed. Any such invoice must be paid within 14 days. Where the Customer has an account with Thames Water, payment terms will be as agreed with Thames Water.

5.2 No payment shall be deemed to have been received until Thames Water has received cleared funds.

5.3 If the Customer fails to pay Thames Water any sum due Thames Water shall be entitled but not obliged to charge the Customer interest on the sum from the due date for payment at the annual rate of 2% above the base lending rate from time to time of Natwest Bank, accruing on a daily basis until payment is made. Thames Water reserves the right to claim interest under the Late Payment of Commercial Debts (Interest) Act 1998.

5.4 Thames Water reserves the right to increase fees on reasonable prior written notice at any time.

Cancellations or Alterations

6. Once an Order is placed, Thames Water shall not be under any obligation to accept any request to cancel that Order and payment for the Order shall still be due upon completion of the Report. In cases where an error has been made in the original Order (e.g. the Customer has supplied an incorrect address), the Customer will need to place a second Order, detailing the correct information, and shall be liable to pay a second charge in accordance with clause 5 above.

Delivery

7. On receiving your order the reports will be posted to you within 10 working days from receipt.

7.1 Delivery is subject to local post conditions and regulations. All items should arrive within 12 working days, but Thames Water cannot be held responsible should delays be caused by local post conditions, postal strikes or other causes beyond the control of Thames Water.

General

8. If any provision of these terms is or becomes invalid or unenforceable, it will be taken to be removed from the rest of these terms to the extent that it is invalid or unenforceable. No other provision of these terms shall be affected.

8.1 These terms shall be governed by English law and all parties submit to the exclusive jurisdiction of the English courts.

8.2 Nothing in this notice shall in any way restrict the Customer or Clients statutory or any other rights of access to the information contained in the Report.

These Terms & Conditions are available in larger print for those with impaired vision.

Terms and Conditions

All sales are made in accordance with Thames Water Utilities Limited (TWUL) standard terms and conditions unless previously agreed in writing.

1. All goods remain in the property of TWUL until full payment is received.
2. Provision of service will be in accordance with all legal requirements and published TWUL policies.
3. All invoices are strictly due for payment 14 days from due date of the invoice. Any other terms must be accepted/agreed in writing prior to provision of goods or service, or will be held to be invalid.
4. TWUL does not accept post-dated cheques-any cheques received will be processed for payment on date of receipt.
5. In case of dispute TWUL's terms and conditions shall apply.
6. Penalty interest may be invoked by TWUL in the event of unjustifiable payment delay. Interest charges will be in line with UK Statute Law 'The Late Payment of Commercial Debts (Interest) Act 1998'.
7. Interest will be charged in line with current Court Interest Charges, if legal action is taken.
8. A charge may be made at TWUL's discretion for increased administration costs.

A copy of TWUL's standard terms and conditions are available from the Commercial Billing Team (cashoperations@thameswater.co.uk).

We publish several Codes of Practice including a guaranteed standards scheme. You can obtain copies of these leaflets by calling us on 0800 316 9800.

If you are unhappy with our service you can speak to your original goods or customer service provider. If you are not satisfied with the response, your complaint will be reviewed by the Customer Services Director. You can write to him at: Thames Water Utilities Ltd. PO Box 492, Swindon, SN38 8TU.

If the goods or services covered by this invoice falls under the regulation of the Water Industry Act 1991, and you remain dissatisfied you can refer your complaint to CC Water on 0845 039 2837 (it will cost you the same as a local call) or write to them at 11 Belgrave Road, London SW1V 1RB.

Ways to pay your bill

By Post – Cheque only, made payable to 'Thames Water Utilities Ltd' writing your Thames Water account number on the back. Please fill in the payment slip below and send it with your cheque to Thames Water Utilities Ltd., PO Box 223, Swindon SN38 2TW	By BACS Payment direct to our bank on account number 90478703, sort code 60-00-01 may be made. A remittance advice must be sent to Thames Water Utilities Ltd., PO Box 223, Swindon SN38 2TW. Or fax to 01793 424599 or email: cashoperations@thameswater.co.uk	Telephone Banking By calling your bank and quoting your invoice number and the Thames Water's bank account number 90478703 and sort code 60-00-01	By Swift Transfer You may make your payment via SWIFT by quoting NWBKGB2L together with our bank account number 90478703, sort code 60-00-01 and invoice number
--	--	---	--

Thames Water Utilities Ltd Registered in England & Wales No. 2366661 Registered Office Clearwater Court, Vastern Rd, Reading, Berks, RG1 8DB.



Search Code

IMPORTANT CONSUMER PROTECTION INFORMATION

This search has been produced by Thames Water Property Searches, Clearwater Court, Vastern Road, Reading RG1 8DB, which is registered with the Property Codes Compliance Board (PCCB) as a subscriber to the Search Code. The PCCB independently monitors how registered search firms maintain compliance with the Code.

The Search Code:

- provides protection for homebuyers, sellers, estate agents, conveyancers and mortgage lenders who rely on the information included in property search reports undertaken by subscribers on residential and commercial property within the United Kingdom
- sets out minimum standards which firms compiling and selling search reports have to meet
- promotes the best practise and quality standards within the industry for the benefit of consumers and property professionals
- enables consumers and property professionals to have confidence in firms which subscribe to the code, their products and services.

By giving you this information, the search firm is confirming that they keep to the principles of the Code. This provides important protection for you.

The Code's core principles

Firms which subscribe to the Search Code will:

- display the Search Code logo prominently on their search reports
- act with integrity and carry out work with due skill, care and diligence
- at all times maintain adequate and appropriate insurance to protect consumers
- conduct business in an honest, fair and professional manner
- handle complaints speedily and fairly
- ensure that products and services comply with industry registration rules and standards and relevant laws
- monitor their compliance with the Code

Complaints

If you have a query or complaint about your search, you should raise it directly with the search firm, and if appropriate ask for any complaint to be considered under their formal internal complaints procedure. If you remain dissatisfied with the firm's final response, after your complaint has been formally considered, or if the firm has exceeded the response timescales, you may refer your complaint for consideration under The Property Ombudsman scheme (TPOs). The Ombudsman can award compensation of up to £5,000 to you if he finds that you have suffered actual loss as a result of your search provider failing to keep to the Code.

Please note that all queries or complaints regarding your search should be directed to your search provider in the first instance, not to TPOs or to the PCCB.

TPOs Contact Details

The Property Ombudsman scheme
Milford House
43-55 Milford Street
Salisbury
Wiltshire SP1 2BP
Tel: 01722 333306
Fax: 01722 332296
Email: admin@tpos.co.uk

You can get more information about the PCCB from www.propertycodes.org.uk

PLEASE ASK YOUR SEARCH PROVIDER IF YOU WOULD LIKE A COPY OF THE SEARCH CODE



YORK PLACE

PROPERTY SEARCHES
COMPANY FORMATION • INFORMATION • ADMINISTRATION

For the attention of
Search Choice Limited
Unit 1200
Delta Office Park
Welton Road
Swindon
Wiltshire
SN5 7XZ
DX 743360 Swindon 31

Date	25/05/2017
Our ref	1049344
Your ref	16685767

Re: Land at Albany Road, London, N18 2DY

Search Type: Highways England

We have completed our search with Highways England, regarding motorways and major trunk roads that may affect the above property.

Highways England are not aware of any proposals within 1200 meters of the property. As the property is within the London area we advise that a further search is made at Transport for London.

Please do not hesitate to contact the Property Team with any queries.

Whilst every effort has been made to obtain as much information as possible, York Place is dependent on the Data Provider for the accuracy and extent of the information supplied and accordingly cannot be held liable for inaccurate or incomplete information supplied to York Place.



**REGISTER OF LOCAL LAND CHARGES
OFFICIAL CERTIFICATE OF SEARCH**

Search Reference: 1718_01381

NLIS Reference:

Date: 20-Jul-2017

Applicant:

Mr Kevin Bird

1200, Delta Business Park
Swindon
SN5 7XZ

Official Search required in all parts of the Register of Local Land Charges for subsisting registrations against the land described and the plan submitted.

Land:

14, Albany Road
Edmonton
London
Enfield
N18 2DX

It is hereby certified that the search requested above reveals the 4 registrations described in the Schedule(s) hereto up to and including the date of this certificate.



Register of Local Land Charges Schedule to Official Certificate of Search

Part 3: Planning Charges (b) Other planning charges			
Description of charge (including reference to appropriate statutory provision)	Originating Authority	Place where relevant documents may be inspected	Date of Registration
6 Leopold Road London N18 2DY Full Application Decision: Granted With Conditions Dated: 01/09/2016 Subdivision of site and erection of an end of terrace 2-storey 3-bed single family dwelling with gable end roof and rear dormer window and associated landscaping and car parking space at the front of the site. Application Number: 14/04793/FUL TLC Ref: AP581779	Enfield Council	Development Control, Enfield Council (development.control@enfield.gov.uk)	02/09/2016
6 Leopold Road London N18 2DY Full Application Decision: Non Valid Dated: 11/11/2014 Subdivision of site and erection of a 3-bed 2-storey house at side with undercroft car parking, Application Number: P14-00688PLA TLC Ref: AP47217	Enfield Council	Development Control, Enfield Council (development.control@enfield.gov.uk)	11/11/2014
Vacant Land Kimberley Road Edmonton Enfield N18 2DW	Enfield Council	Development Control, Enfield Council (development.control@enfield.gov.uk)	22/07/1985



**Register of Local Land Charges
Schedule to Official Certificate of Search**

**Part 3: Planning Charges
(b) Other planning charges**

Description of charge (including reference to appropriate statutory provision)	Originating Authority	Place where relevant documents may be inspected	Date of Registration
Archive Planning History 1948-1986 Decision: Granted With Conditions CAR PARK FOR MK ELECTRICS.CONSTANT USE Application Number: TP/85/0526 TLC Ref: AP123580			



**Register of Local Land Charges
Schedule to Official Certificate of Search**

Part 4: Miscellaneous Charges

Description of charge (including reference to appropriate statutory provision)	Originating Authority	Place where relevant documents may be inspected	Date of Registration
Clean Air Act 1956 Smoke Control Area Zone - Edmonton 07 TLC Ref: PF573197	Enfield Council	Local Land Charges, Enfield Council, Civic Centre, Silver Street, Enfield	08/01/1965

REPLIES TO STANDARD ENQUIRIES OF LOCAL AUTHORITY (2016 Edition)

Applicant: Mr Kevin Bird
1200, Delta Business Park
Swindon
SN5 7XZ

Search Reference: 1718_01381
NLIS Reference:
Date: 20-Jul-2017

Property: 14, Albany Road
Edmonton
London
Enfield
N18 2DX

**Other Roads
etc:**

**Additional
Properties:** Vacant Land Adjacent To 14 Albany Road Edmonton N18 2DX
14 Albany Road Edmonton N18 2DX
Vacant Land Rear Of 6 Albany Road Edmonton N18 2DX

I refer to your Standard Enquiries relating to the above property. These replies relate to that property as shown on the location plan where supplied. The replies are given subject to the Notes to the Standard Enquiries.

All correspondence relating to these answers should quote the official Search Reference.

Search Reference: 1718_01381

Standard Enquiries of Local Authority

PLANNING AND BUILDING REGULATIONS

1.1 Planning and building decisions and pending applications

Which of the following relating to the property have been granted, issued or refused or (where applicable) are the subject of pending applications or agreements?

(a) a planning permission

Reference: 14/04793/FUL

Subdivision of site and erection of an end of terrace 2-storey 3-bed single family dwelling with gable end roof and rear dormer window and associated landscaping and car parking space at the front of the site.

Date Decision Issued : 01/09/2016

Decision :Granted With Conditions

Reference: TP/85/0526/1

DETAILS

Decision :Approve

Reference: TP/85/0526

CAR PARK FOR MK ELECTRICS.CONSTANT USE

Decision :Granted With Conditions

Reference: P14-00688PLA

Subdivision of site and erection of a 3-bed 2-storey house at side with undercroft car parking.

Date Decision Issued : 11/11/2014

Decision :Non Valid

(b) a listed building consent

None

(c) a conservation area consent

None

(d) a certificate of lawfulness of existing use or development

None

(e) a certificate of lawfulness of proposed use or development

Reference: LDC/96/0118

Erection of a 2.4m high wooden hoarding along Albany Road frontage.

Date Decision Issued : 24/07/1996

Decision :Granted

(f) a certificate of lawfulness of proposed works for listed buildings

None

(g) a heritage partnership agreement

Search Reference:

1718_01381

Enfield Council |Civic Centre | Silver Street | Enfield |EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

None

(h) a listed building consent order

None

(i) a local listed building consent order

None

(j) building regulations approval

None

(k) building regulation completion certificate and

None

Informative

The Council computerised records relating to building regulation information do not extend back before 1st January 1999 and this reply only covers the period since that date.

(l) any building regulations certificate or notice issued in respect of work carried out under a competent person self-certification scheme?

None

Informative

As from 1st April 2002 the installation of a replacement window, rooflight or roof window or specified type of glazed door must either have building regulation approval or be carried out and certified by a person who is registered under the Fenestration Self-Assessment Scheme by the Glass and Glazing federation.

The replies supplied in answer to questions 3.1-3.13 on form CON29R relate only to matters which are not entered on the Local Land Charges Register. Notices that have been withdrawn or quashed are also not referred to.

Unless otherwise indicated, matters will be disclosed only if they apply directly to the property described in Box B.

"Area" means any area in which the property is located.

References to "the Council" include any predecessor Council and also any Council Committee, subcommittee or other body or person exercising powers delegated by the Council and their approval includes their decision to proceed. The replies given to certain enquiries cover knowledge and actions of both the District Council and the County Council.

References to the provisions of particular Acts of Parliament or Regulations include any provisions which they have replaced and also include existing or future amendments or re-enactments.

The replies will be given in the belief that they are in accordance with information presently available to the officers of the replying Council, but none of the Councils or their officers accept legal responsibility for an incorrect reply, except for negligence. Any liability for negligence will extend to the person who raised the enquiries and the person on whose behalf they were raised. It will also extend to any other person who has knowledge (personally or through an agent) of the replies before the time when he purchases, takes tenancy of, or lends money on the security of the property or (if earlier) the time when he becomes contractually bound to do so.

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

Informative

Copies of any of the planning documents listed above from 2006 onwards are available free of charge via www.enfield.gov.uk For copies of any of the planning application documents listed above prior to 2006 are available for a fee from licensing@enfield.gov.uk The reply shown in 1.1 a-e does not cover other properties in the vicinity of the property. To obtain information regarding developments which may affect the property, please access the Planning Portal, this can be found on the Enfield Council Website www.enfield.gov.uk For queries around listed buildings and heritage partnership agreements, please speak to the conservation officer.

1.2 Planning designations and proposals

What designations of land use for the property, or the area, and what specific proposals for the property, are contained in any existing or proposed development plan?

Yes - The Council's Development Plan identifies the above property as being located in an Area Action Plan.

Informative

Enfield Local Plan now comprises:

- The Adopted Core Strategy Policies, November 2010;
- The Adopted Development Management Document (DMD) policies 2014;
- The Adopted London policies, July 2011 and Further Alterations 2015; and
- Where relevant, policies in the Adopted North Circular Area Action Plan (NCAAP) 2014.

The preparation of Enfield Local Plan is advancing and the 2013-2016 Local Development Scheme sets out the programme for Local Plan production. This can be found on the website at <https://new.enfield.gov.uk/services/planning/planning-policy/local-plan/>.

If you wish to obtain any further details then please contact the Local Plan team on 020 8379 3866 or via email on LocalPlan@enfield.gov.uk.

More information on this area can be found at the following web link

<https://new.enfield.gov.uk/services/planning/planning-policy/>

ROADS AND PUBLIC RIGHTS OF WAY

Roadways, footways and footpaths

2.1 Which of the roads, footways and footpaths named in the application for this search (via boxes B and C) are:

(a) highways maintainable at public expense

Albany Road is publicly maintained.
See attached plan.

(b) subject to adoption and, supported by a bond or bond waiver

Not applicable

(c) to be made up by a local authority who will reclaim the cost from the frontagers

Not applicable

(d) to be adopted by a local authority without reclaiming the cost from the frontagers

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

Not applicable

Informative

If a road, footpath or footway is not a highway, there may be no right to use it. The Council cannot express an opinion, without seeing the title plan of the property and carrying out an inspection, whether or not any existing or proposed highway directly abuts the boundary of the property. An affirmative answer does not imply that the public highway directly abuts the boundary of the property. If a road, footpath or footway is not a highway, there may be no right to use it.

Public rights of way

2.2 Is any public right of way which abuts on, or crosses the property, shown on a definitive map or revised definitive map?

None

2.3 Are there any pending applications to record a public right of way that abuts, or crosses the property, on a definitive map or revised definitive map?

None

2.4 Are there any legal orders to stop up, divert, alter or create a public right of way which abuts, or crosses the property not yet implemented or shown on a definitive map?

None

2.5 If so, please attach a plan showing the approximate route.

None

OTHER MATTERS

Apart from matters entered on the registers of local land charges, do any of the following matters apply to the property? If so, how can copies of the relevant documents be obtained?

Note: Matters entered onto the Local Land Charges Register, or visible by property/site inspection, will not be referred to (where relevant) in answer to the enquiries 3.1. to 3.15. below.

3.1 Land required for public purposes

Is the property included in land required for public purposes?

None

3.2 Land to be acquired for road works

Is the property included in land to be acquired for road works?

None

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

Informative

Relevant documents can be obtained from traffictransport.support@enfield.gov.uk If a road, footpath or footway is not a highway, there may be no right to use it. The Council cannot express an opinion, without seeing the title plan of the property and carrying out an inspection, whether or not any existing or proposed highway directly abuts the boundary of the property.

3.3 Drainage matters

(a) Is the property served by a sustainable urban drainage system (SuDS)?

Informative: Schedule 3 of the Flood and Water Management Act 2010 has not been enacted, therefore the Council is not currently recording details of property related SuDS. However, some information relating to property SuDS may have been submitted with the relevant planning application which can be viewed on the Council's website:

<https://new.enfield.gov.uk/services/planning/>

For new builds, information should be sought from the developer, including clarification on any maintenance responsibilities a property owner may inherit or any maintenance agreements they may be required to fund should any exist through a management company.

Water and Sewerage Companies will normally include a surface water charge in their bills where roof water from a property connects to a public surface water sewer.

Drainage infrastructure serving a single property within the curtilage of that property will be the responsibility of the home owner to maintain, unless directed otherwise.

Further information about flood risk in Enfield can be found on the Council's website:

<https://new.enfield.gov.uk/services/environment/rivers-and-streams/flood-management/>

(b) Are there SuDS features within the boundary of the property? If yes, is the owner responsible for maintenance?

Informative: Schedule 3 of the Flood and Water Management Act 2010 has not been enacted, therefore the Council is not currently recording details of property related SuDS. However, some information relating to property SuDS may have been submitted with the relevant planning application which can be viewed on the Council's website:

<https://new.enfield.gov.uk/services/planning/>

For new builds, information should be sought from the developer, including clarification on any maintenance responsibilities a property owner may inherit or any maintenance agreements they may be required to fund should any exist through a management company.

Water and Sewerage Companies will normally include a surface water charge in their bills where roof water from a property connects to a public surface water sewer.

Drainage infrastructure serving a single property within the curtilage of that property will be the responsibility of the home owner to maintain, unless directed otherwise.

Further information about flood risk in Enfield can be found on the Council's website:

<https://new.enfield.gov.uk/services/environment/rivers-and-streams/flood-management/>

(c) If the property benefits from a SuDS for which there is a charge, who bills the property for the surface water drainage charge?

Informative: Schedule 3 of the Flood and Water Management Act 2010 has not been enacted, therefore the Council is not currently recording details of property related SuDS. However, some information relating to property SuDS may have been submitted with the relevant planning application which can be viewed on the Council's website:

<https://new.enfield.gov.uk/services/planning/>

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

For new builds, information should be sought from the developer, including clarification on any maintenance responsibilities a property owner may inherit or any maintenance agreements they may be required to fund should any exist through a management company.

Water and Sewerage Companies will normally include a surface water charge in their bills where roof water from a property connects to a public surface water sewer.

Drainage infrastructure serving a single property within the curtilage of that property will be the responsibility of the home owner to maintain, unless directed otherwise.

Further information about flood risk in Enfield can be found on the Council's website:

<https://new.enfield.gov.uk/services/environment/rivers-and-streams/flood-management/>

Informative

Copy Combined Drainage Orders can be obtained for a fee from landcharges@enfield.gov.uk All drainage enquiries with the exception of 3.3 (a), Combined Drainage Orders, which the Local Authority continues to answer, should be directed to Thames Water www.twpropertyinsight.co.uk

3.4 Nearby road schemes

Is the property (or will it be) within 200 metres of any of the following?

(a) the centre line of a new trunk road or special road specified in any order, draft order or scheme

None

(b) the centre line of a proposed alteration or improvement to an existing road involving construction of a subway, underpass, flyover, footbridge, elevated road or dual carriageway

None

(c) the outer limits of construction works for a proposed alteration or improvement to an existing road involving:-

None

(d) the outer limits of:

None

(e) the centre line of the proposed route of a new road under proposals published for public consultation

None

(f) the outer limits of:-

None

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

Informative

Relevant documents can be obtained from traffictransport.support@enfield.gov.uk A mini roundabout is a roundabout having a one-way circulatory carriageway around a flush or slightly raised circular marking less than 4 metres in diameter and with or without flared approaches.

3.5 Nearby railway schemes

(a) Is the property (or will it be) within 200 metres of the centre line of a proposed railway, tramway, light railway or monorail?

None

(b) Are there are any proposals for a railway, tramway, light railway or monorail within the Local Authority's boundary?

None

3.6 Traffic schemes

Has a local authority approved but not yet implemented any of the following for the roads, footways and footpaths which are named in Boxes B and C and are within 200 metres of the boundaries of the property?

(a) permanent stopping up or diversion

None

(b) waiting or loading restrictions

None

(c) one way driving

None

(d) prohibition of driving

None

(e) pedestrianisation

None

(f) vehicle width or weight restriction

None

(g) traffic calming works including road humps

None

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

(h) residents parking controls

None

(i) minor road widening or improvement

None

(j) pedestrian crossings

None

(k) cycle tracks

None

(l) bridge building

None

Informative

Relevant documents can be obtained from traffictransport.support@enfield.gov.uk In some circumstances, road closure orders can be obtained by third parties from magistrates courts or can be made by the Secretary of State for Transport without involving the Council

3.7 Outstanding notices

Do any statutory notices which relate to the following matters subsist in relation to the property other than those revealed in a response to any other enquiry in this form?

(a) building works

None

(b) environment

None

(c) health and safety

None

(d) housing

None

(e) highways

None

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

(f) public health

None

Informative

Relevant documents can be obtained from enviro.crime@enfield.gov.uk

(g) flood and coastal erosion risk management

There are no designated features or statutory notices which the council hold in relation to flood and coastal erosion risk management, and would therefore not be in a position to answer queries on specific properties concerning the above. General information regarding flood risk can be sought from the Environment Agency.

For queries in relation to flood management in Enfield the following web link allows the download of relevant documents.

<https://new.enfield.gov.uk/services/environment/rivers-and-streams/flood-management/>

3.8 Contravention of building regulations

Has a local authority authorised in relation to the property any proceedings for the contravention of any provision contained in building regulations?

None

Informative

Relevant documents can be obtained from building.control@enfield.gov.uk

3.9 Notices, orders, directions and proceedings under Planning Acts

Do any of the following subsist in relation to the property, or has a local authority decided to issue, serve, make or commence any of the following?

(a) an enforcement notice

None

(b) a stop notice

None

(c) a listed building enforcement notice

None

(d) a breach of condition notice

None

(e) a planning contravention notice

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

None

(f) another notice relating to breach of planning control

None

(g) a listed building repairs notice

None

(h) in the case of a listed building deliberately allowed to fall into disrepair, a compulsory purchase order with a direction for minimum compensation

None

(i) a building preservation notice

None

(j) a direction restricting permitted development

None

(k) an order revoking or modifying planning permission

None

(l) an order requiring discontinuance of use or alteration or removal of building or works

None

(m) a tree preservation order

None

(n) proceedings to enforce a planning agreement or planning contribution

None

Informative

Relevant documents can be obtained from enviro.crime@enfield.gov.uk

3.10 Community infrastructure levy (CIL)

(a) Is there a CIL charging schedule?

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

Since April 2012 the Mayor of London has been charging CIL in Enfield at the rate of £20 per sqm. Following approval at Full Council on 23rd March, Enfield's CIL was adopted on 1st April 2016.

(b) If, yes, do any of the following subsist in relation to the property, or has a local authority decided to issue, serve, make or commence any of the following:-

None

(c) Has any demand notice been suspended?

None

(d) Has the Local Authority received full or part payment of any CIL liability?

None

(e) Has the Local Authority received any appeal against any of the above?

None

(f) Has a decision been taken to apply for a liability order?

None

(g) Has a liability order been granted?

None

(h) Have any other enforcement measures been taken?

None

3.11 Conservation area

Do the following apply in relation to the property?

(a) the making of the area a conservation area before 31 August 1974

None

(b) an unimplemented resolution to designate the area a Conservation Area

None

Informative

Relevant documents can be obtained from planning.policy@enfield.gov.uk

3.12 Compulsory purchase

Search Reference: 1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

Has any enforceable order or decision been made to compulsorily purchase or acquire the property?

None

3.13 Contaminated land

Do any of the following apply (including any relating to land adjacent to or adjoining the property which has been identified as contaminated land because it is in such a condition that harm or pollution of controlled waters might be caused on the property)?

(a) a contaminated land notice

None

(b) in relation to a register maintained under section 78R of the Environmental Protection Act 1990

None

(c) consultation with the owner or occupier of the property conducted under section 78G(3) of the Environmental Protection Act 1990 before the service of a remediation notice

None

Informative

A negative reply does not imply that the property or any adjoining or adjacent land is free from contamination or the risk of it and the reply may not disclose steps taken by another Council in whose area adjacent or adjoining land is situated.

3.14 Radon gas

Do records indicate that the property is in a "Radon Affected Area" as identified by Public Health England?

None

3.15 Assets of Community Value

(a) Has the property been nominated as an asset of community value?

No

(b) If the property is listed:

None

These replies have been given in accordance with the notes appended to CON29 form.

References to the provisions of particular Acts of Parliament or Regulations include any provisions which they have replaced and also include existing or future amendments or re-enactments.

The replies will be given in the belief that they are in accordance with information presently available to the officers of the replying local authority, but none of the local authorities or their officers accepts

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

legal responsibility for an incorrect reply, except for negligence. Any legal responsibility for negligence will be owed to the person who raised the enquiries and the person on whose behalf they were raised. It will also be owed to any other person who has knowledge (personally or through an agent) of the replies before the time when he purchases, takes a tenancy of, or lends money on the security of the property or (if earlier) the time when he becomes contractually bound to do so.

This Form should be read in conjunction with the guidance notes available separately.

Area means any area in which the property is located.

References to the Local Authority include any predecessor Local Authority and also any Local Authority committee, sub-committee or other body or person exercising powers delegated by the Local Authority and their approval includes their decision to proceed. The replies given to certain enquiries cover knowledge and actions of both the District Local Authority and County Local Authority.

Where relevant, the source department for copy documents should be provided.

Optional Enquiries

ROAD PROPOSALS BY PRIVATE BODIES

4. What proposals by others have been approved, or are the subject of pending applications, the limits of construction of which are adjoining or adjacent to the property, for-

(a) the construction of a new road, or

None

(b) the alteration or improvement of an existing road, involving the construction, whether or not within existing highway limits, of a subway, underpass, flyover, footbridge, elevated road, dual carriageway, the construction of a roundabout (other than a mini roundabout) or the widening of an existing road by the construction of one or more additional traffic lanes?

None

ADVERTISEMENTS

Entries in the register

5.1. Please list any entries in the register of applications, directions and decisions relating to consent for the display of advertisements.

None

5.2. If there are any entries, where can that register be inspected?

None

Notices, proceedings and orders

5.3. Except as shown in the official certificate of search:

(a) Has any notice been given by the Secretary of State or served in respect of a direction or proposed direction restricting deemed consent for any class of advertisement?

None

(b) Has the local authority resolved to serve a notice requiring the display of any advertisement to be discontinued?

None

(c) If a discontinuance notice has been served, has it been complied with to the satisfaction of the local authority?

None

(d) Has the local authority resolved to serve any other notice or proceedings relating to a contravention of the control of advertisements?

None

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

(e) Has the local authority resolved to make an order for the special control of advertisements for the area?

None

COMPLETION NOTICES

6. Which of the planning permissions in force has the local authority resolved to terminate by means of a completion notice under s.94 of the Town & Country Planning Act 1990?

None

PARKS AND COUNTRYSIDE

Areas of Outstanding Natural Beauty

7.1. Has any order under s.82 of the Countryside and Rights of Way Act 2000 been made?

None

National Parks

7.2. Is the property within a National Park designated under s.7 of the National Parks and Access to the Countryside Act 1949?

None

HOUSES IN MULTIPLE OCCUPATION

9. Is the property a house in multiple occupation, or is it designated or proposed to be designated for selective licensing of residential accommodation in accordance with the Housing Act 2004?

None

URBAN DEVELOPMENT AREAS

11.1 Is the area an urban development area designated under Part XVI of the Local Government, Planning and Land Act 1980?

None

11.2. If so, please state the name of the urban development corporation and the address of its principal office.

None

ENTERPRISE ZONES, LOCAL DEVELOPMENT ORDERS & BIDS

12.1. Is the area designated as an enterprise zone?

None

12.2. Is the area subject to a local development order?

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

None

12.3. Is the area a business improvement district (BID)?

None

INNER URBAN IMPROVEMENT AREAS

13. Has the local authority resolved to define the area as an improvement area under s.4 of the Inner Urban Areas Act 1978?

None

LAND MAINTENANCE NOTICES

15. Has the local authority authorised the service of a maintenance notice under s.215 of the Town & Country Planning Act 1990?

None

MINERAL CONSULTATION AND SAFEGUARDING AREAS

16. Is the area a mineral consultation area or mineral safeguarding area notified by the county planning authority under Schedule 1 para 7 of the Town & Country Planning Act 1990?

None

HAZARDOUS SUBSTANCE CONSENTS

17.1. Please list any entries in the Register kept pursuant to s.28 of the Planning (Hazardous Substances) Act 1990.

There are no entries relating to this property.

17.2. If there are any entries:

(a) How can copies of the entries be obtained?

None

(b) Where can the Register be inspected?

None

HEDGEROW NOTICES

20.1. Please list any entries in the record maintained under regulation 10 of the Hedgerows Regulations 1997.

None

20.2. If there are any entries:

Search Reference:

1718_01381

Enfield Council | Civic Centre | Silver Street | Enfield | EN1 3XA | DX 90615 Enfield
landcharges@enfield.gov.uk | 020 8379 1000

(a) How can copies of the matters entered be obtained?

None

(b) Where can the record be inspected?

None

COMMON LAND AND TOWN OR VILLAGE GREEN

22.1. Is the property, or any land which abuts the property, registered common land or town or village green under the Commons Registration Act 1965 or the Commons Act 2006?

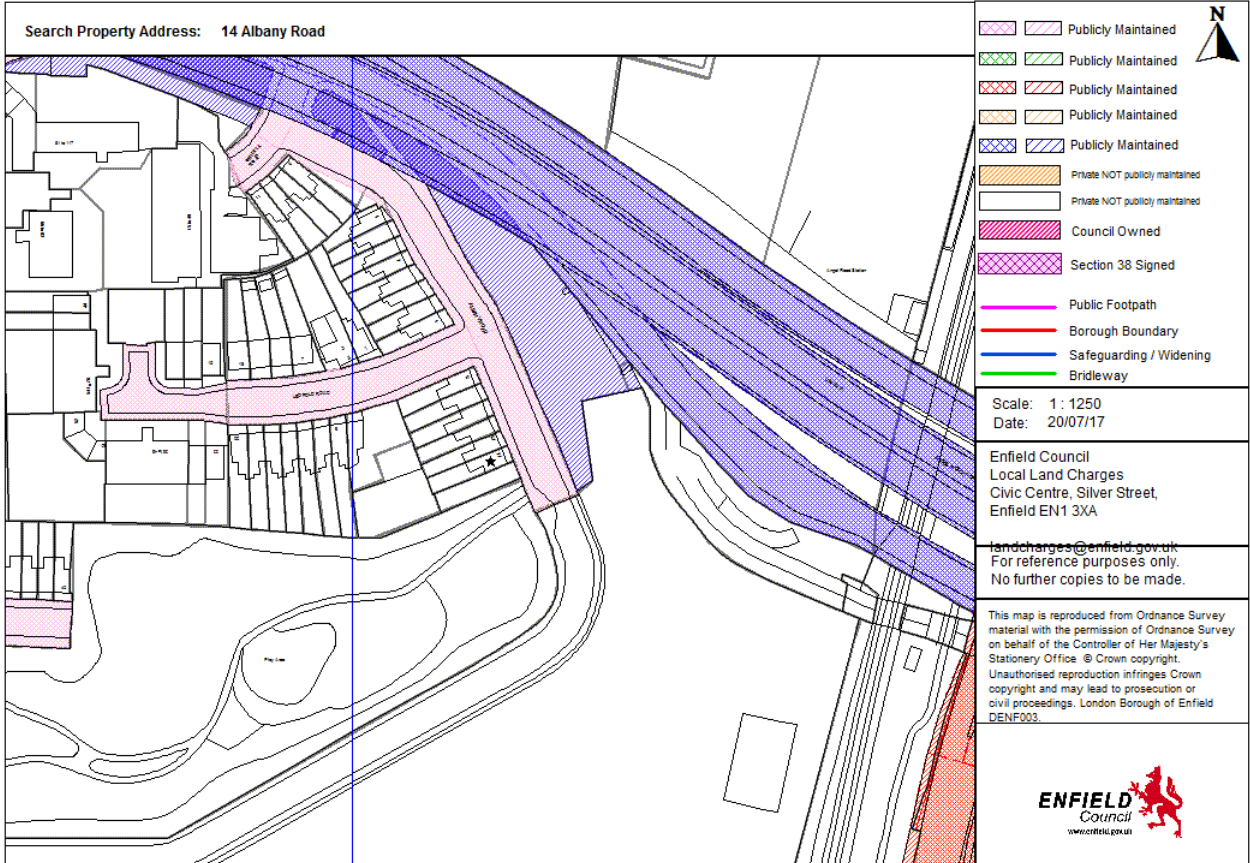
None

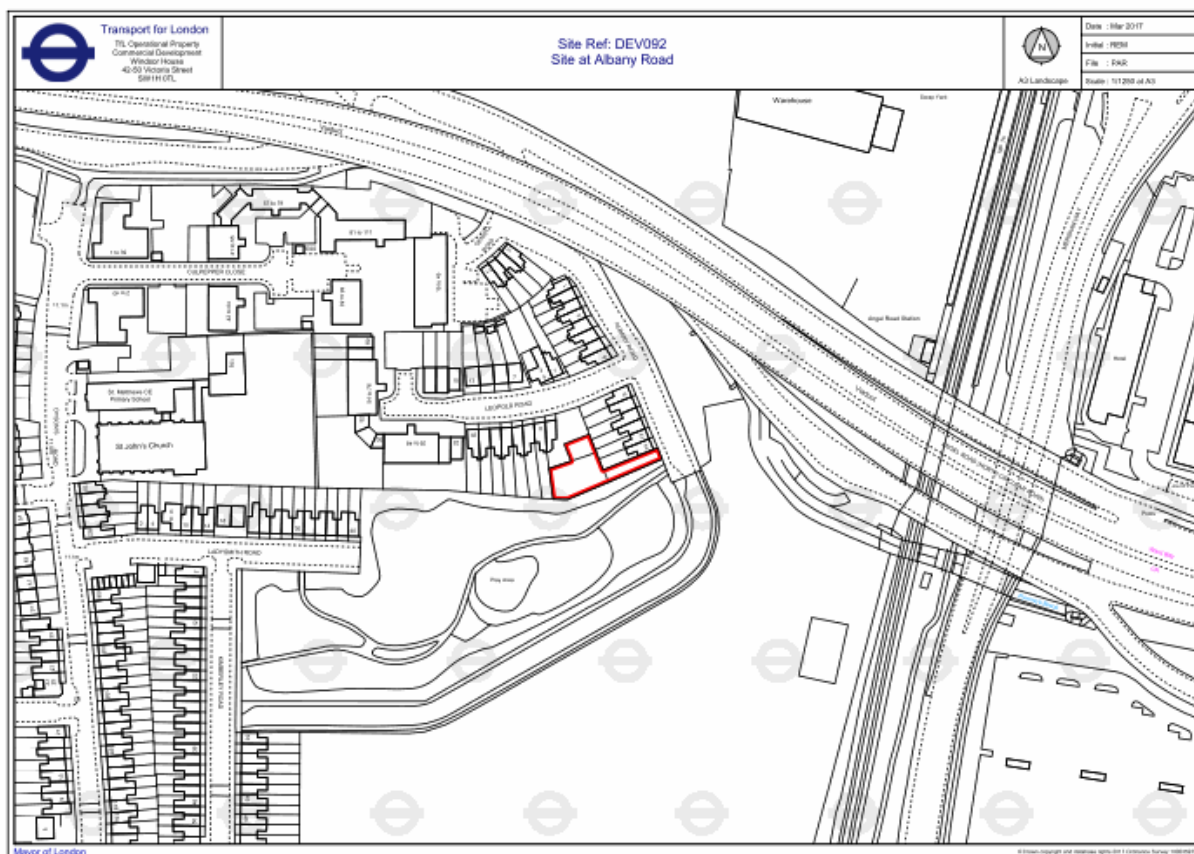
22.2. Is there any prescribed information about maps and statements, deposited under s.15A of the Commons Act 2006, in the register maintained under s.15B(1) of the Commons Act 2006 or under s.31A of the Highways Act 1980?

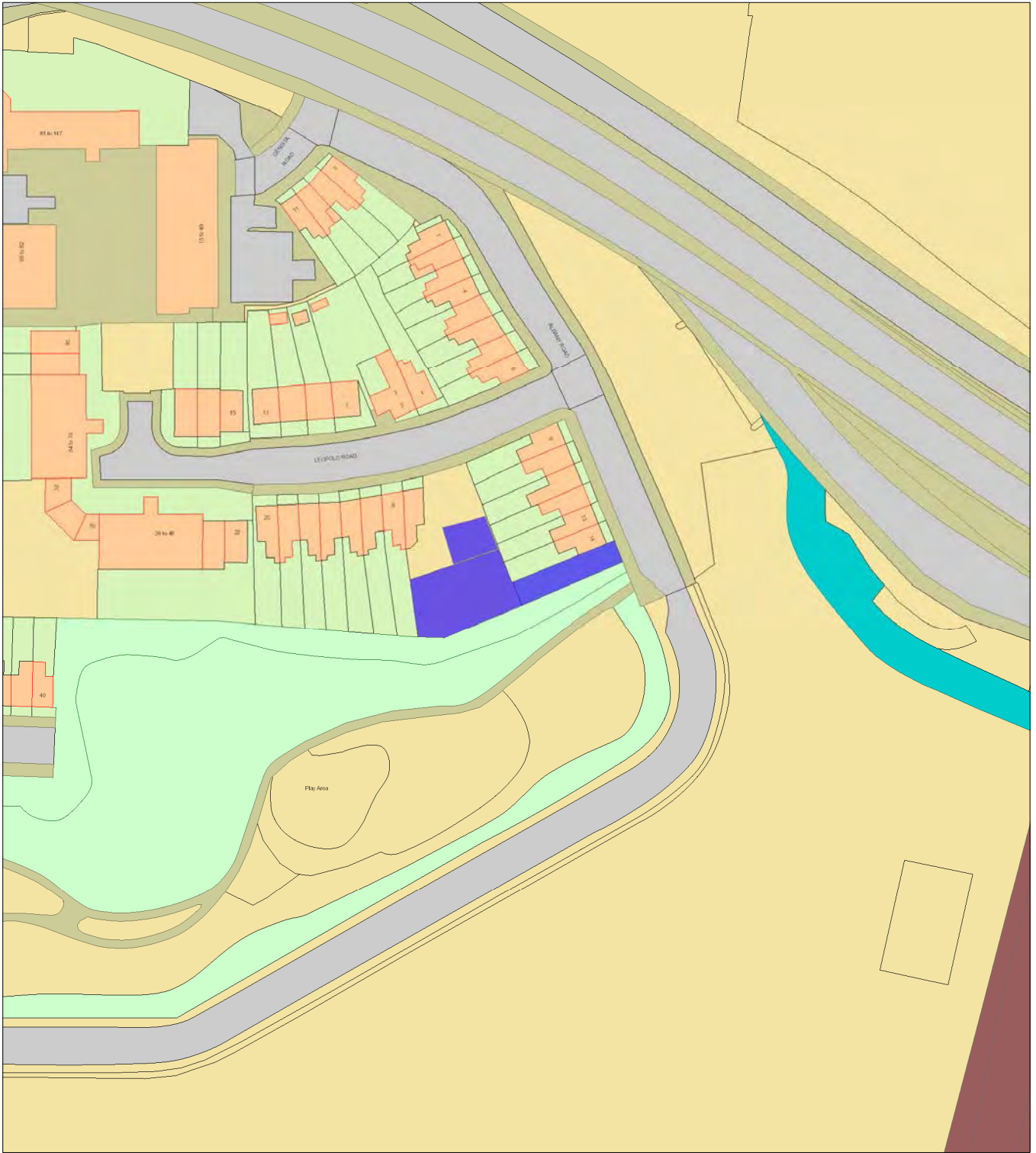
None

22.3. If there are any entries, how can copies of the matters registered be obtained and where can the register be inspected?

None







Search Reference: 1718_01381	Enfield Council Civic Centre Silver Street Enfield EN1 3XA DX 90615 Enfield landcharges@enfield.gov.uk
Property Address: 14, Albany Road Edmonton London Enfield N18 2DX	
Date: 19-Jul-2017	



Associated Notes: Search Reference: 1718_01381

ADDITIONAL INFORMATION

We would like to draw your attention to the following:-

Note: Note: For copies of Smoke Control Orders, Combined Drainage Orders, Tree Preservation Orders, Section 106's and Deeds of Dedication, please note there is a fee of 12.00 pounds per document. This can be paid by debit / credit card. Please contact landcharges@enfield.gov.uk to arrange this. For other documents please contact the relevant departments.

Note Reference: NO573753

Supplied by:



Highways Search Standard

Search Summary

This search is issued for the property described as:

**Vacant Land (edged red on plan)
Adjacent to 14 Albany Road
London
N18 2DX**

Search reference:
16765644

Date of issue:
03 July 2017

Data Supplied by:
The Highways Department



Information



Contact Details

If you require any assistance please contact our customer service team at:

<http://orders.planval.com/helpdesk/>

-or-

contact your reseller

website:

www.planval.com

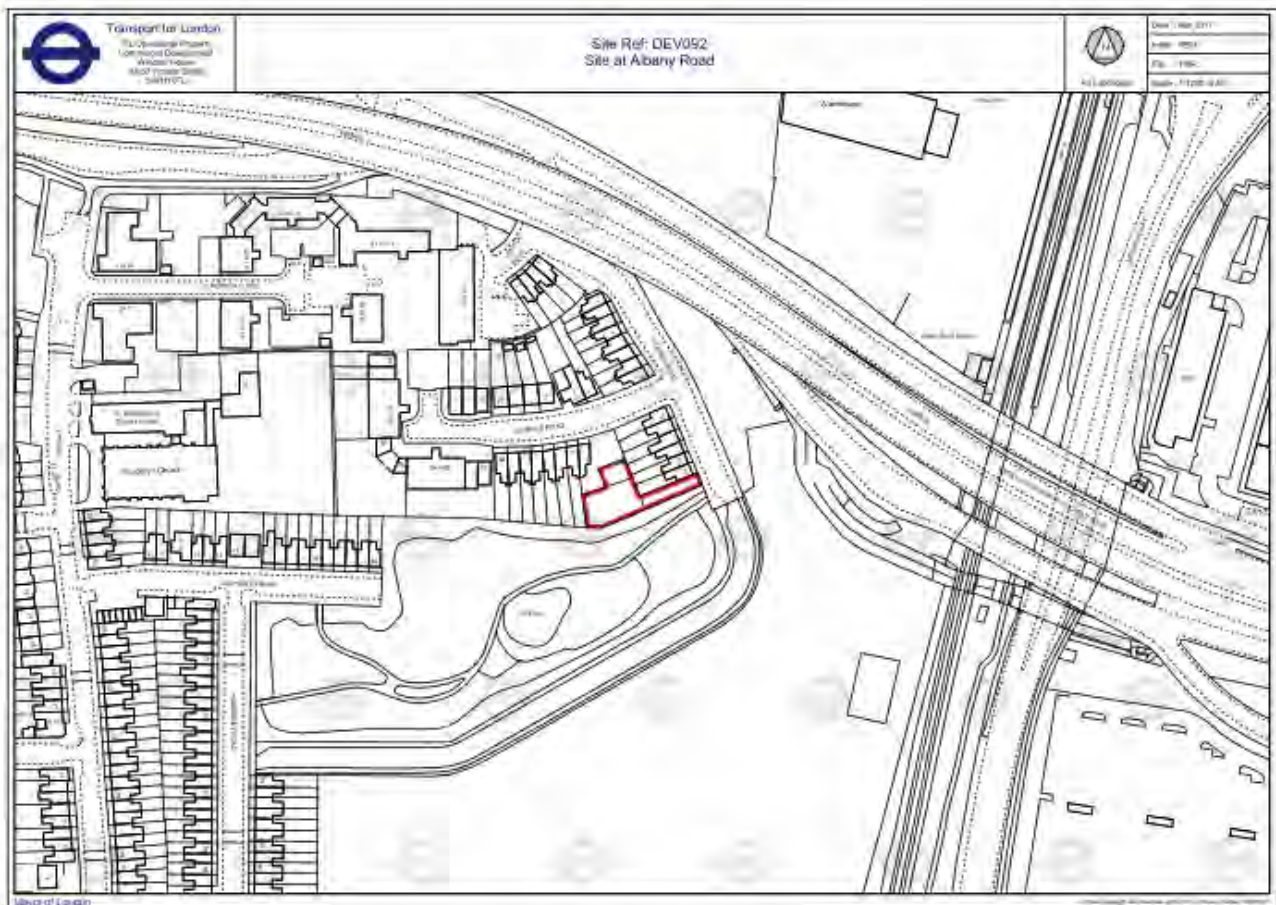
Planval Reference: 204710/309301

Links to PlanVal products with Professional Opinions:



Data Requested

1. Confirmation that the Property immediately abuts onto a publicly maintainable highway and there is no intervening land between the Property and the public highway (if there is, is it within the Property's ownership and what is its status?).
2. Are there any road improvements or widening schemes in the area or any road closure orders affecting roads around the property.
3. Can you confirm that there are no public footpaths on or over the property or nearby the Property and confirm the extent of such?
4. Is there any information available regarding any future improvements or of developments (including bus stops) which may affect traffic flow around the land in question?
5. A copy of your plan showing the extent of the highways and adopted roads in relation to the property and the plan submitted to you.





PRIVATE & CONFIDENTIAL

office@searchesonline.co.uk

Please reply to: Operational Support
P.O. Box 52
Civic Centre, Silver Street
Enfield
EN1 3XD

E-mail : transportation@enfield.gov.uk

My Ref : **AR0999**

Your Ref : **16765644 :204710/309301**

Date: 30 June 2017

Dear Sir/Madam

Land Adjacent to 14 Albany Road London N18 2DX Vacant Land

Thank you for your letter and payment in connection with the above named location.

Attached is a plan which shows the extent of public adopted highway shaded in the vicinity of the land in question.

I can confirm that the land abuts the public highway at the eastern boundary only as shown on the attached plan and there is intervening land on all other sides as shown on the attached plan.

There are no public footpaths on, over or nearby the property.

There are currently no Council promoted orders, draft orders or schemes proposed or being considered for the construction, alteration or improvements of any roads which may affect, regulate or restrict flow of traffic in the streets adjacent to the property in question.

I trust this information is of assistance.

Yours faithfully



Operational Support Hub
Traffic & Transportation

IMPORTANT – Enfield residents should register for an online Enfield Connected account. Enfield Connected puts many Council services in one place, speeds up your payments and saves you time – to set up your account today go to www.enfield.gov.uk/connected

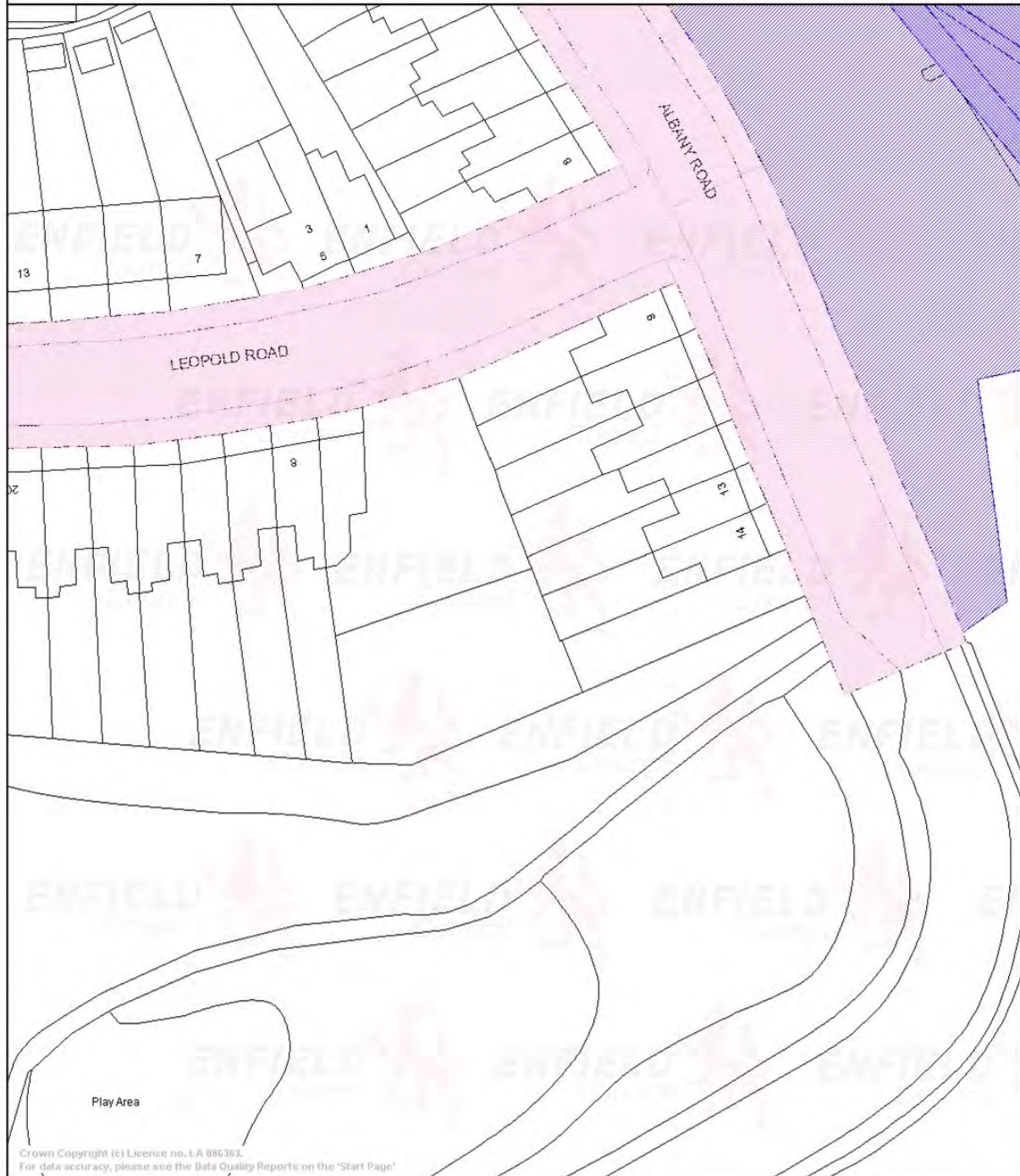
Ian Davis
Director – Regeneration &
Environment
Enfield Council
Civic Centre, Silver Street
Enfield EN1 3XY



Website: www.enfield.gov.uk

? If you need this document in another language or format call Customer Services on 020 8379 1000, or email enfield.council@enfield.gov.uk

14 Albany Road London N18 2DX



© Crown copyright and database rights
2012. Ordnance Survey 100019820

Scale 1/526 Date 28/6/2017

Centre = 535018 E 192146 N

Terms and Conditions of Use

To see our full terms and conditions, please refer to the following page:

<http://orders.planval.com/publications/terms.pdf>

Your Ref: **1049343**
Our Ref: **PSUS-1381185.1**
Date: 30 May 2017

CHRIS KITSON
YORK PLACE COMPANY SERVICES
LOWER GROUND FLOOR
ONE GEORGE YARD
LONDON

EC3V 9DF

[PSUS-1381185.1]



Plant Protection
National Grid
Block 1
Brick Kiln Street
Hinckley
LE10 0NA

Telephone 0800 688588*
Email: plantprotection@nationalgrid.com

Electricity Emergency Number:
0800 40 40 90*
National Gas Emergency Number:
0800 111 999*

*Available 24 hours, 7 days/week.
Calls may be recorded and monitored.
www.nationalgrid.com

F.A.O. Chris Kitson

Dear Sirs,

Re: LAND AT ALBANY ROAD, LONDON, N18 2DY.

Thank you for your enquiry dated 26 May 2017. Please note this letter and information is only being provided in response to a property search and should not be used when carrying out any construction or excavation works.

An assessment has been carried out with respect to National Grid Gas and Electricity Transmission apparatus.

Based on the information you have provided we have concluded that National Grid infrastructure **is not Affected**. Therefore, the land which is subject of this enquiry is not subject to the provisions of an Easement or Wayleave agreement with regard to National Grid Gas plc's apparatus. However, there may still be rights reserved for apparatus granted to other utility companies. There may also be rights reserved for apparatus granted to other utility companies within the area of interest.

There are no plans attached to this response as there are no National Grid Transmission assets at this location.

IMPORTANT NOTE: This response is for the National Grid transmission gas and National Grid transmission electricity networks ONLY. You SHOULD also obtain information of local gas and electricity distribution networks. Please refer to www.utilitysearch.com

For any other enquiries, particularly regarding carrying out any construction activities, you are required to contact our National Grid Plant Protection team in advance of any work at the following address:

Self Service: www.beforeyoudig.nationalgrid.com

National Grid Plant Protection
National Grid, Block 1
Brick Kiln Street
Hinckley LE10 0NA
0800 688 588
plantprotection@nationalgrid.com



Commercial

Gas Pipeline Search

TM Property Searches Ltd, Swindon
DX: 743360
Swindon 31

Fax / E-mail: 0870 741 0426 /
Telephone: 0844 249 9200
Client Ref: 16685763
STL Reference: 2060241
Received Date: 26/05/2017

Property:

Land At, Albany Road, London, N18 2DY

Name and Address of Data Source:

National Grid
Utility Search, PO Box 2122, Horwich, Bolton, BL6 7WS

This search was compiled by STL Group Limited, Orion Gate, 1st Floor, Guildford Road, Woking, Surrey GU22 7NJ Tel: 01483 715355, Fax: 01483 221854 Email: info@stlgroup.co.uk and is subject to STL's terms and conditions which can be viewed at www.stlgroup.co.uk
STL is registered with the Property Codes Compliance Board (PCCB) as a subscriber to the Search Code, further details of which can be found at www.pccb.org.uk



Your Ref: **2060241**
Our Ref: **PSUS-1380708.1**
Date: 26 May 2017

STL GROUP
STL GROUP PLC
EDBROOKE HOUSE
ST JOHNS ROAD
WOKING
SURREY
GU21 7SE

[PSUS-1380708.1]



Plant Protection
National Grid
Block 1
Brick Kiln Street
Hinckley
LE10 0NA

Telephone 0800 688588*
Email: plantprotection@nationalgrid.com

Electricity Emergency Number:
0800 40 40 90*
National Gas Emergency Number:
0800 111 999*

*Available 24 hours, 7 days/week.
Calls may be recorded and monitored.
www.cadentgas.com

F.A.O. STL Group

Dear Sirs,

Re: LAND AT, ALBANY ROAD, LONDON, N18 2DY.

Thank you for your enquiry dated 25 May 2017. Please note this letter and information is only being provided in response to a property search and should not be used when carrying out any construction or excavation works.

An assessment has been carried out with respect to National Grid Gas Distribution Ltd apparatus. Please note that the plan attached does not show the location of domestic or industrial service pipes but they should be anticipated near to buildings or property.

Based on the information you have provided we have concluded that National Grid Gas Distribution Ltd infrastructure is **not Affected**. Therefore, the land which is subject of this enquiry is not subject to the provisions of an Easement or Wayleave agreement with regard to National Grid Gas Distribution Ltd apparatus. However, there may still be rights reserved for apparatus granted to other utility companies

IMPORTANT NOTE: This response is for the National Grid Gas Distribution Ltd networks ONLY. You SHOULD also obtain information of National Grid gas and electricity transmission networks. Please refer to www.utilitysearch.com

It has been identified that the area may be affected by an independent gas transporter that is not National Grid. Details of other gas transporters are available from the gas transporter helpline on 0870 1600229.

There is Intermediate pressure apparatus in the vicinity of your request, should you wish to undertake any works, it is essential that you contact the Plant Protection Team.

For any other enquiries, particularly regarding carrying out any construction activities, you are required to contact our National Grid Plant Protection team in advance of any work at the following address:

Self Service: www.beforeyoudig.nationalgrid.com

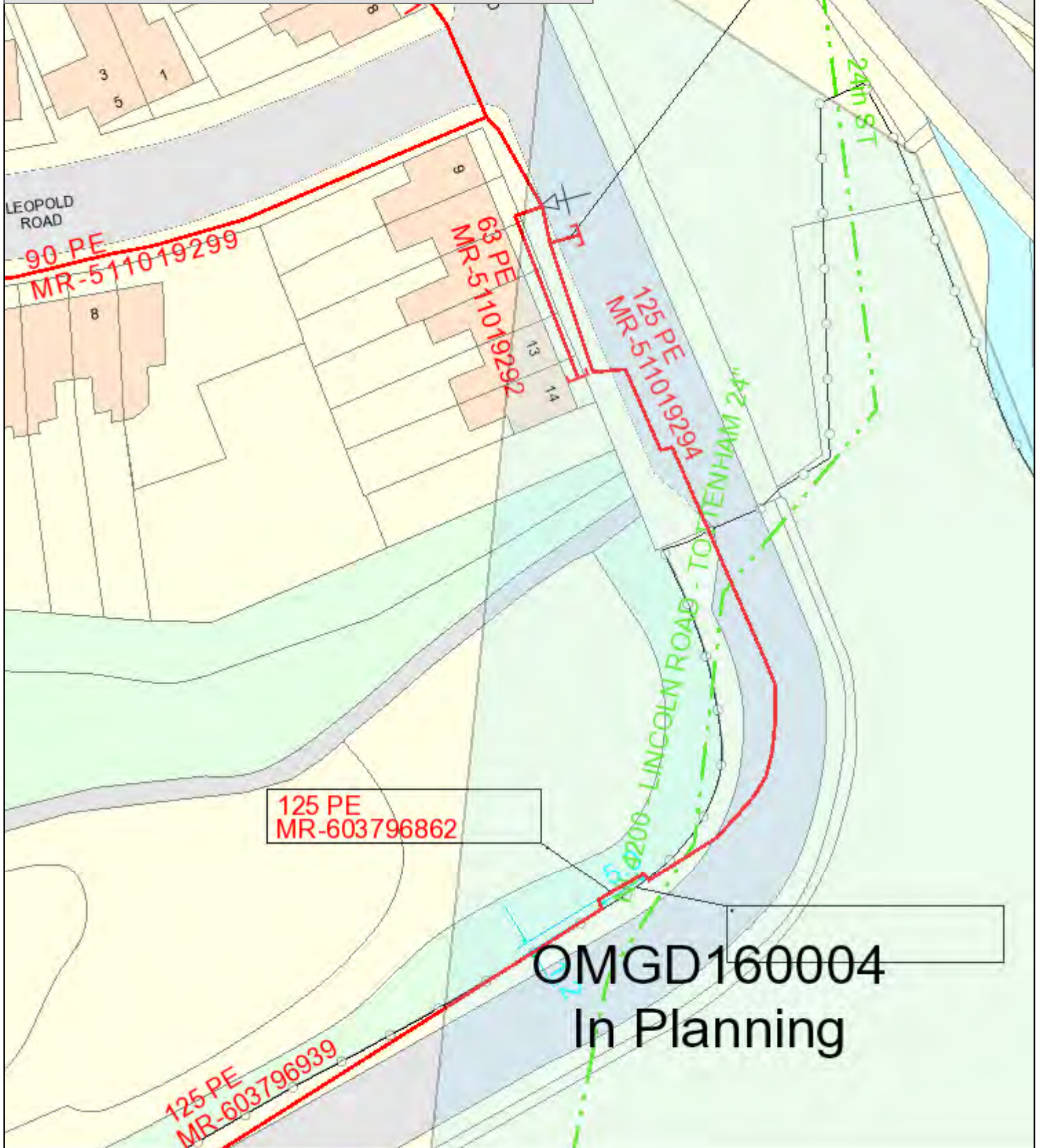
National Grid Plant Protection
National Grid, Block 1
Brick Kiln Street
Hinckley LE10 0NA
0800 688 588
plantprotection@nationalgrid.com

On **1 May 2017** Cadent became the new name for National Grid Gas Distribution. As a business that works 24-7 to keep you safe and warm, we can't stop what we do to change all of our branding at once. If you see our old name alongside the new, you can trust it's the same professional workforce, keeping gas flowing safely to your home or business.

WARNING! This area contains Gas Mains
 Operating at High Pressure (in excess of 7 bar)
 and intermediate Pressure (between 2 and 7 bar).
 Before excavating in the area contact the Plant Protection team on 0800 688 588 or plantprotection@cadentgas.com.

WARNING! This area contains potentially contaminated land.

PE
 511019293



OMGD160004
In Planning

SCALE: 1:500

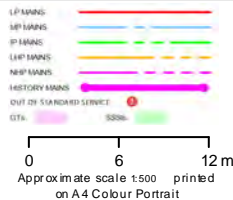
USER ID: Jo di.Hunter

DATE: 5/26/2017

NRSWA RESPONSE

MAP REF: TQ 3592

CENTRE: 535 037,192 137



This plan shows those pipes owned by Cadent Gas Limited in their role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc. are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Cadent Gas Limited or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

Cadent

Some examples of plant items:



This plan is reproduced from or based on the OS map by Cadent Gas Limited, with the sanction of the controller of HM Stationery Office.
 Crown Copyright Reserved



Ms. Makala Jefferies
York Place
Elizabeth House
Queen Street
Leeds
LS1 2TW

Our Ref: 2017/2256194
Your Ref: YP1051292
02/06/2017

Dear Sir/Madam

LAND AT ALBANY ROAD LONDON N18 2DY

Thank you for your letter of 31/05/2017 in which you asked if there are any electric lines and/or electrical plant belonging to UK Power Networks (EPN) plc ("UK Power Networks") within the land identified by your enquiry.

I enclose a copy of UK Power Networks record of its electric lines and/or electrical plant at the site identified by your enquiry. If the records provided do not relate to the land to which you had intended to refer please resubmit your enquiry.

This information is made available to you on the terms set out below.

- 1. UK Power Networks does not warrant that the information provided to you is correct. You rely upon it at your own risk.**
2. UK Power Networks does not exclude or limit its liability if it causes the death of any person or causes personal injury to a person where such death or personal injury is caused by its negligence.
3. **Subject to paragraph 2 UK Power Networks has no liability to you in contract, in tort (including negligence), for breach of statutory duty or otherwise how for any loss, damage, costs, claims, demands, or expenses that you or any third party may suffer or incur as a result of using the information provided whether for physical damage to property or for any economic loss (including without limitation loss of profit, loss of opportunity, loss of savings, loss of goodwill, loss of business, loss of use) or any special or consequential loss or damage whatsoever.**
4. The information about UK Power Networks electrical plant and/or electric lines provided to you belongs to and remains the property of UK Power Networks. You must not alter it in any respect.
5. **The information provided to you about the electrical plant and/or electric lines depicted on the plans may NOT be a complete record of such apparatus belonging to UK Power Networks. The information provided relates to electric lines and/or electrical plant belonging to UK Power Networks that it believes to be present but the plans are NOT definitive: other electric lines and/or electrical plant may be present and that may or may not belong to UK Power Networks.**
6. **Other apparatus not belonging to UK Power Networks is not shown on the plan. It is your responsibility to make your own enquiries elsewhere to discover whether apparatus belonging to others is present. It would be prudent to assume that other apparatus is present.**

7. You are responsible for ensuring that the information made available to you is passed to those acting on your behalf and that all such persons are made aware of the contents of this letter.
8. Because the information provided to you may **NOT** be accurate, you are recommended to ascertain the presence of UK Power Networks electric lines and/or electrical plant by the digging of trial holes. **Trial holes should be dug by hand only**. Excavations must be carried out in line with the Health and Safety Executive guidance document HSG 47. We will not undertake this work. A copy of HSG 47 can be obtained from the Health and Safety Executives website.

All electric lines discovered must be considered LIVE and DANGEROUS at all times and must not be cut, resited, suspended, bent or interfered with unless specially authorised by UK Power Networks.

The electric line and electrical plant belonging to UK Power Networks remains so even when made dead and abandoned and any such electric line and/or electrical plant exposed shall be reported to UK Power Networks.

Where your works are likely to affect our electric lines and/or electrical plant an estimate of the price of any protective /diversionary works can be prepared by UK Power Networks Branch at Metropolitan House, Darkes Lane, Potters Bar, Herts. , EN6 1AG, telephone no. 0845 2340040

- 9 **Any work near to any overhead electric lines must be carried out by you in accordance with the Health and Safety Executive guidance document GS6 and the Electricity at Work Regulations.**

The GS6 Recommendations may be purchased from HSE Books or downloaded from the Energy Networks Association's website.

If given a reasonable period of prior notice UK Power Networks will attend on site without charge to advise how and where "goal posts" should be erected. If you wish to avail yourself of this service, in the first instance please telephone: 0845 6014516 between 08:30 and 17:00 Monday to Friday, Public and bank holidays excepted.

10. You are responsible for the security of the information provided to you. It must not be given, sold or made available upon payment of a fee to a third party.
11. If in carrying out work on land in, on, under or over which is installed an electric line and/or electrical plant that belongs to UK Power Networks you and/or anyone working on your behalf damages (however slightly) that apparatus you must inform immediately UK Power Networks by telephone at the number below providing:
 - your name, address and telephone number; and
 - the date, time and place at which such damage was caused; and
 - a description of the electric line and/or electrical plant to which damage was caused; and
 - the name of the person whom it appears to you is responsible for that damage; and
 - the nature of the damage

In the East of England or London 0800 780078 (24 Hours).

12. The expression "UK Power Networks" includes UK Power Networks (EPN) plc, UK Power Networks (LPN) plc, UK Power Networks (SEPN) plc, UK Power Networks and any of their successors and predecessors in title.

IF YOU DO **NOT** ACCEPT AND/OR **DO NOT** UNDERSTAND THE TERMS OF USE SET OUT IN PARAGRAPHS 1 TO 12 INCLUSIVE ABOVE YOU MUST NOT USE THE PLANS AND RETURN THEM TO ME.

I would remind you that work adjacent to electric lines and/or electrical plant represents a serious risk to health and safety and as such should feature amongst the items you have assessed in your workplace risk assessment and method statement.

The enclosed plans normally only show the mains electricity cables. Service cables are not usually shown in the East of England. A service cable is the cable that takes the electricity from the mains cable to your property and ends at the main fuse close to the meter.

I shall be pleased to supply you with further assistance if you require it.

Yours sincerely

L Blizard

Lynda Blizard - Telephone: 0800 0565 866
Plan Provision

UK Power Networks, Plan Provision, Fore Hamlet, Ipswich, IP3 8AA. Tel: 0800 0565866. Fax: 0870 1963782.

UK Power Networks Registered in England and Wales Registered No 7290590.
Registered office: Newington House, 237 Southwark Bridge Road London, SE1 6NP.

s6

SPARE SHEET

PRODUCTION BY:
DRAWN BY:
PROJECT:
© Crown Copyright

SERVICES




SCALE: 1:1000
EDMONTON

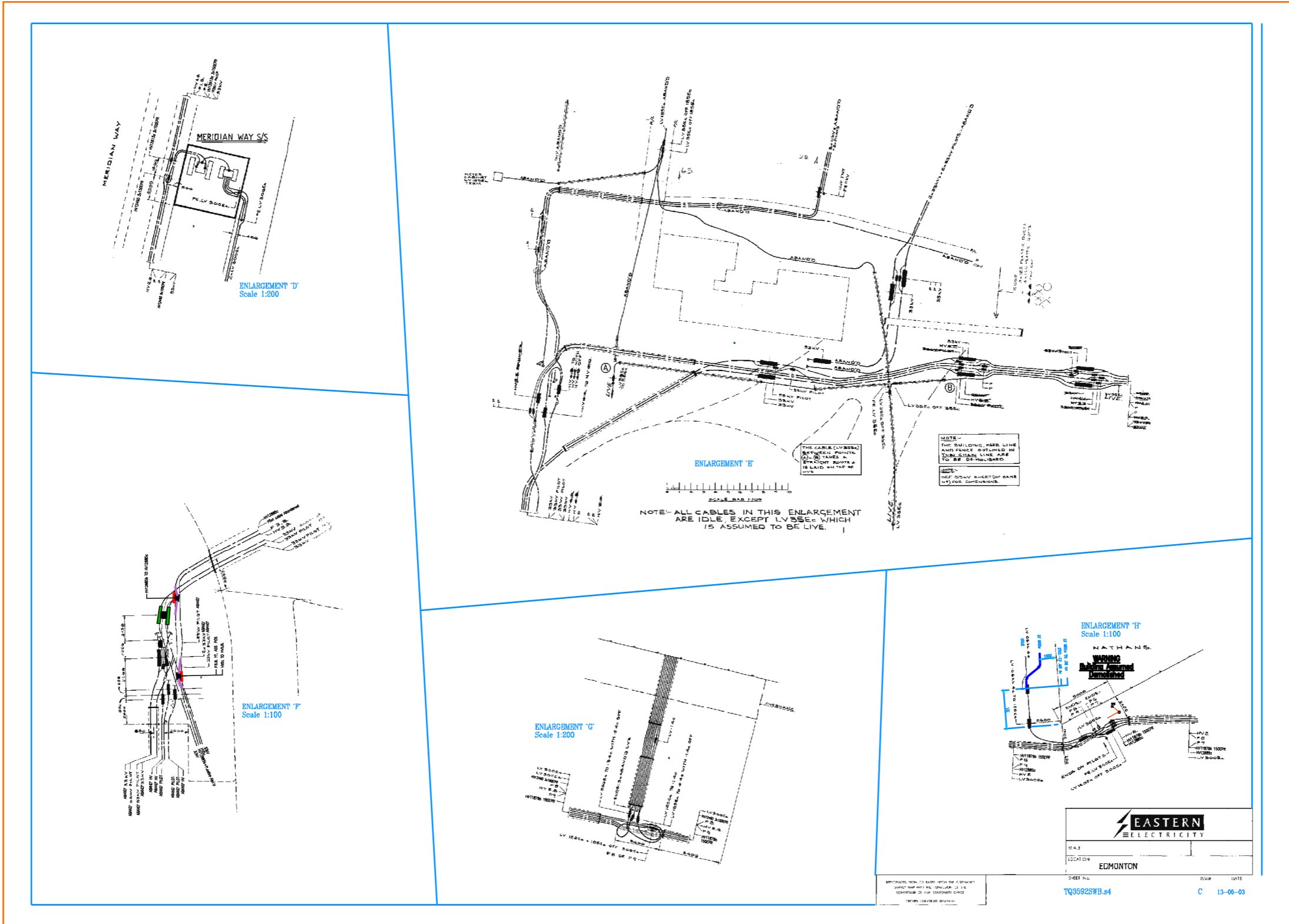
SHEET No: TQ3592SWB.a6
ISSUE: C
DATE: 13-06-03

S5

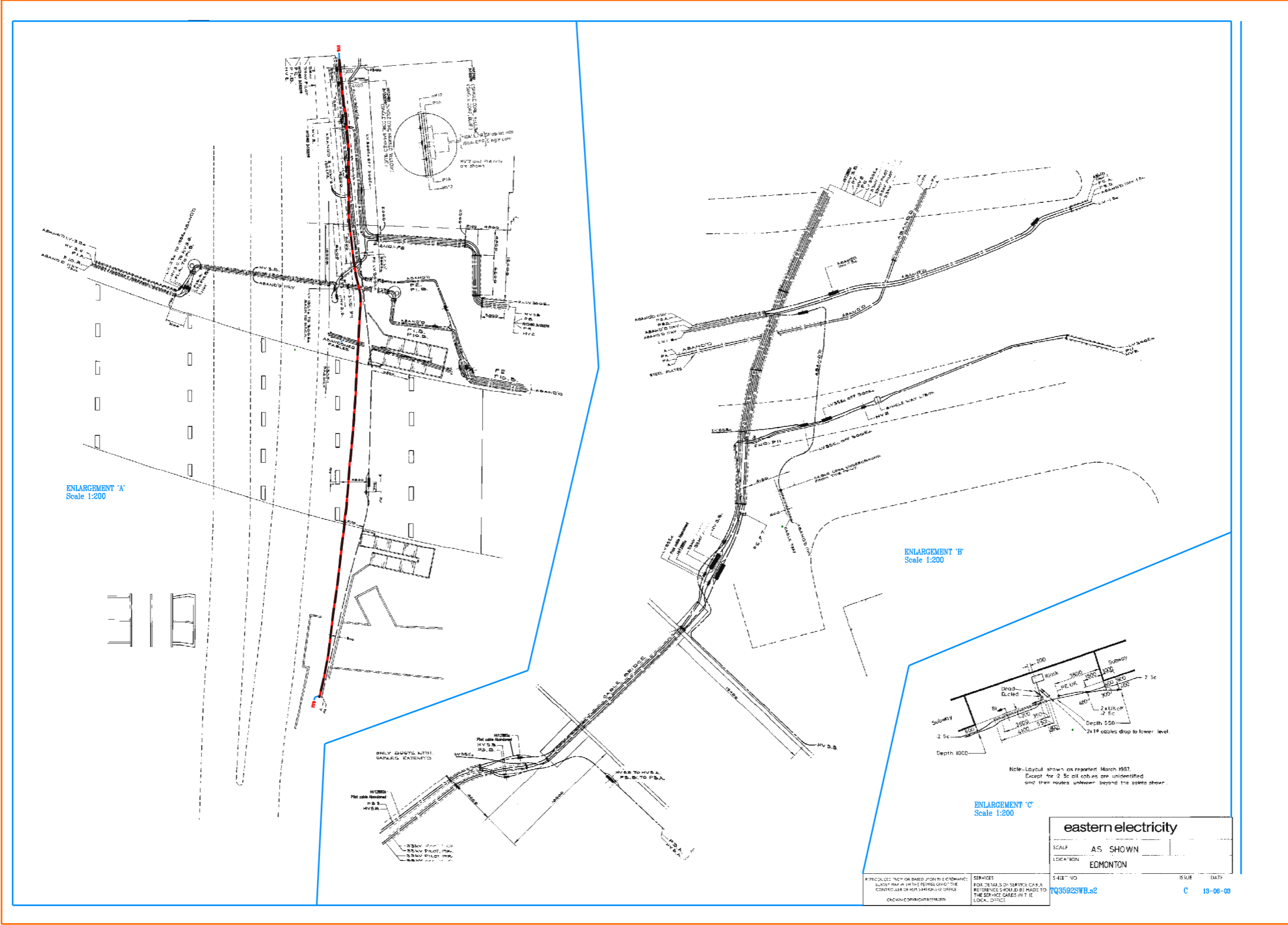
SPARE SHEET

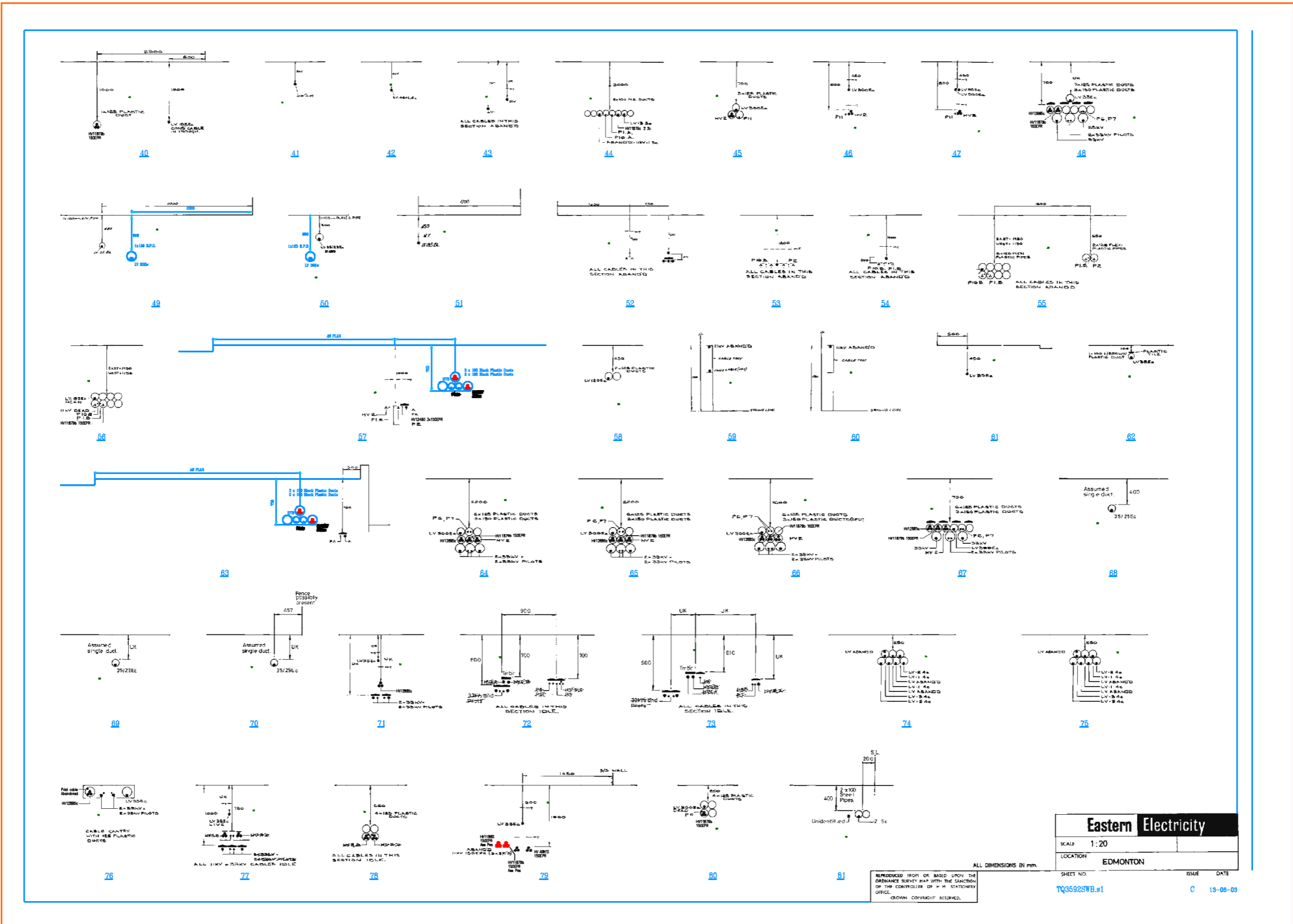
	
SCALE	ISSUE
LOCATION	DATE
ED-FFS No.	
TQ3592SWB.s5	C 13-06-03

Reproduced from the
Distance Survey Map with
permission of the Controller of M.S.G.
© Crown Copyright



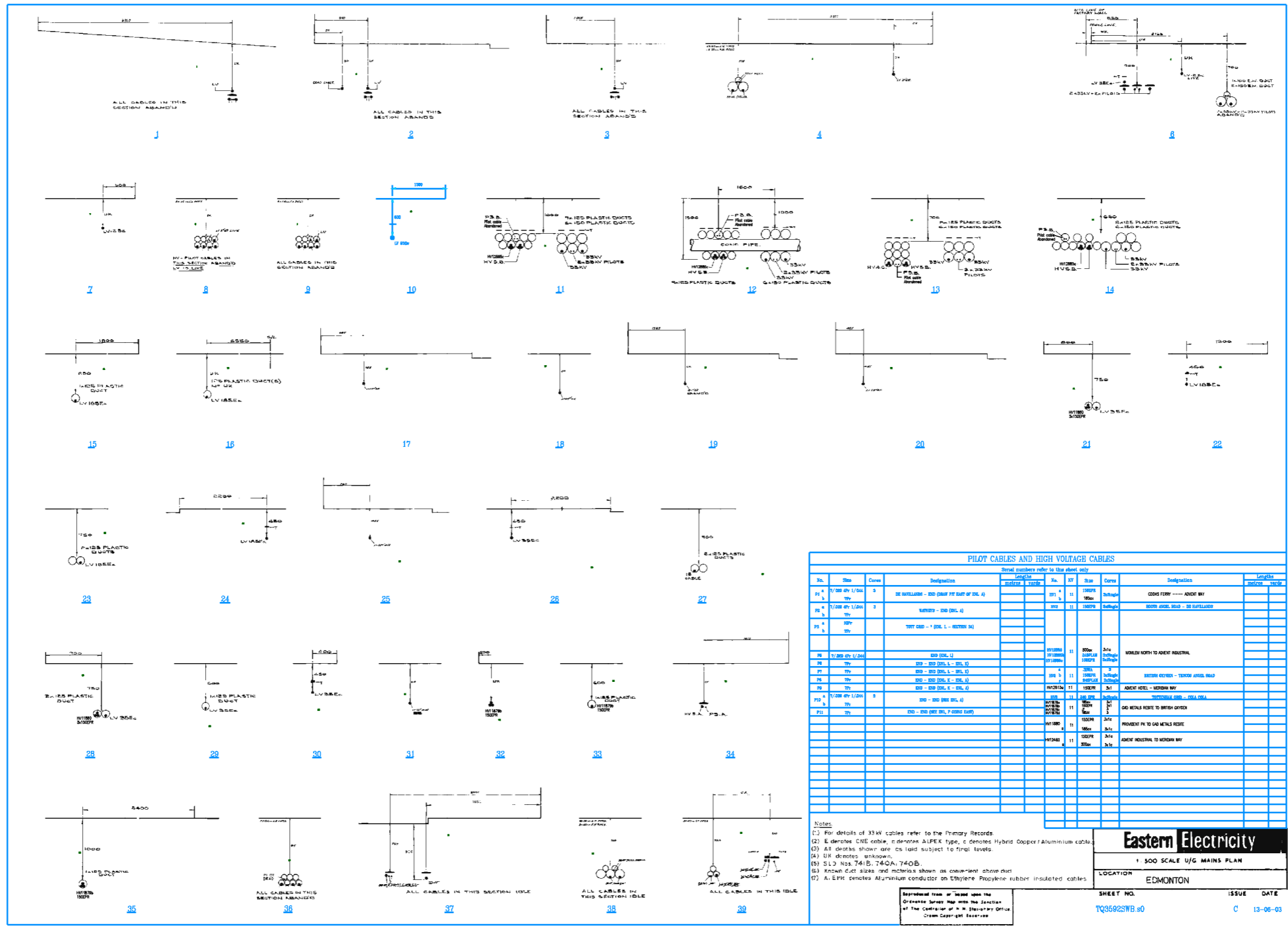
S2





TQ3592SWB 1:500 LV

SO



PILOT CABLES AND HIGH VOLTAGE CABLES

Serial numbers refer to this sheet only

No.	Size	Core	Designation	Length	No.	Size	Core	Designation	Length
P1	1/0.08 kv 1/0.04	3	DE SUFFLAGE - 3RD CROSS PIT EAST OF DUK. A)		011	11	1000V	3-core	
P2	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		012	11	1000V	3-core	
P3	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		013	11	1000V	3-core	
P4	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		014	11	1000V	3-core	
P5	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		015	11	1000V	3-core	
P6	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		016	11	1000V	3-core	
P7	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		017	11	1000V	3-core	
P8	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		018	11	1000V	3-core	
P9	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		019	11	1000V	3-core	
P10	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		020	11	1000V	3-core	
P11	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		021	11	1000V	3-core	
P12	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		022	11	1000V	3-core	
P13	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		023	11	1000V	3-core	
P14	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		024	11	1000V	3-core	
P15	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		025	11	1000V	3-core	
P16	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		026	11	1000V	3-core	
P17	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		027	11	1000V	3-core	
P18	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		028	11	1000V	3-core	
P19	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		029	11	1000V	3-core	
P20	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		030	11	1000V	3-core	
P21	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		031	11	1000V	3-core	
P22	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		032	11	1000V	3-core	
P23	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		033	11	1000V	3-core	
P24	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		034	11	1000V	3-core	
P25	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		035	11	1000V	3-core	
P26	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		036	11	1000V	3-core	
P27	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		037	11	1000V	3-core	
P28	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		038	11	1000V	3-core	
P29	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		039	11	1000V	3-core	
P30	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		040	11	1000V	3-core	
P31	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		041	11	1000V	3-core	
P32	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		042	11	1000V	3-core	
P33	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		043	11	1000V	3-core	
P34	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		044	11	1000V	3-core	
P35	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		045	11	1000V	3-core	
P36	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		046	11	1000V	3-core	
P37	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		047	11	1000V	3-core	
P38	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		048	11	1000V	3-core	
P39	1/0.08 kv 1/0.04	3	WATERBURY - 2ND (DIL. A)		049	11	1000V	3-core	

Notes

- For details of 33 kV cables refer to the Primary Records
- E denotes CNS cable, c denotes Hybrid Copper/Aluminium cable
- All details shown are as laid subject to final levels
- UK denotes unknown
- S.L.D. Nos. 741B, 740A, 740B
- Known Cat sizes and materials shown as equivalent above but
- A.E.P.C. denotes Aluminium conductor on Ethylene Propylene rubber insulated cables

Eastern Electricity

1:500 SCALE U/G MAINS PLAN

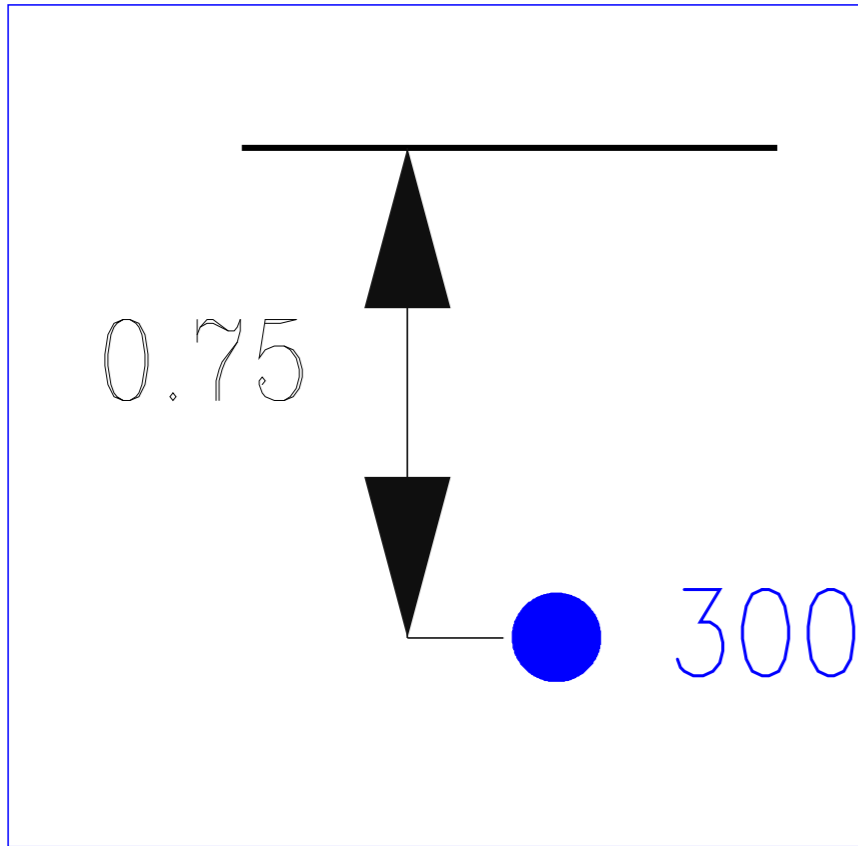
LOCATION: EDMONTON

SHEET NO. TQ3592SWB.S0

ISSUE DATE: C 13-06-03



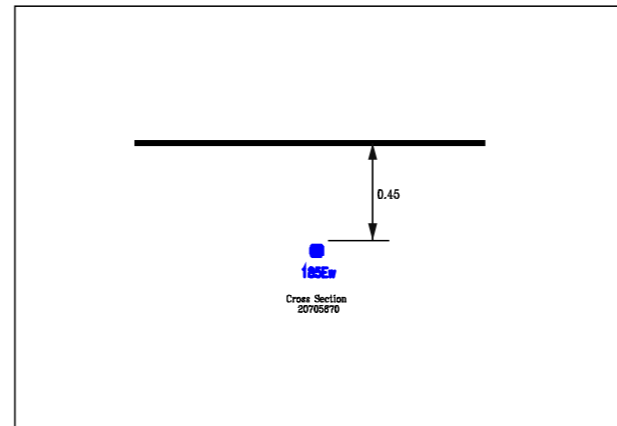
Cross Section (4276849)



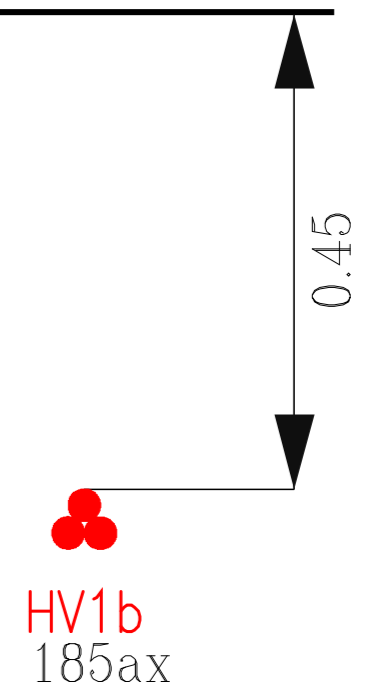
Cross Section (92)

See Supplementa
TQ3592SW
for Cross-Section

Cross Section (20705670)



Cross Section (3679962)



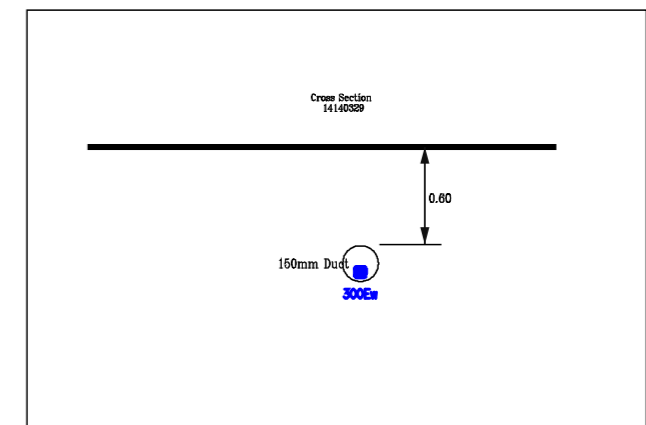
Cross Section (57)

See Supplementa
TQ3592SW
for Cross-Section

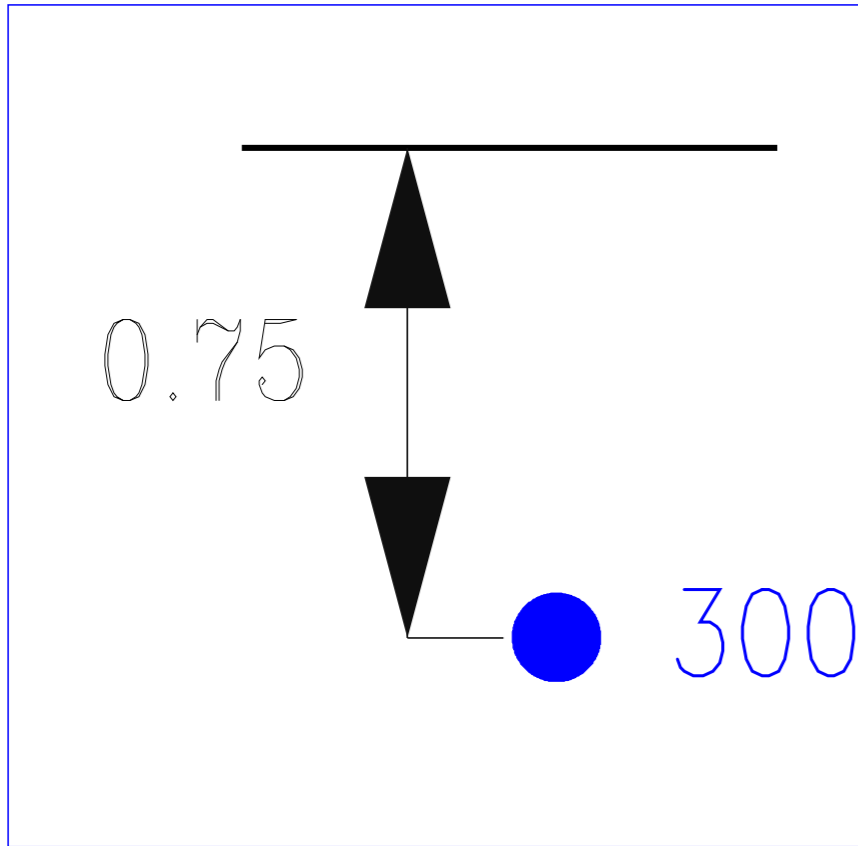
Cross Section (63)

See Supplementa
TQ3592SW
for Cross-Section

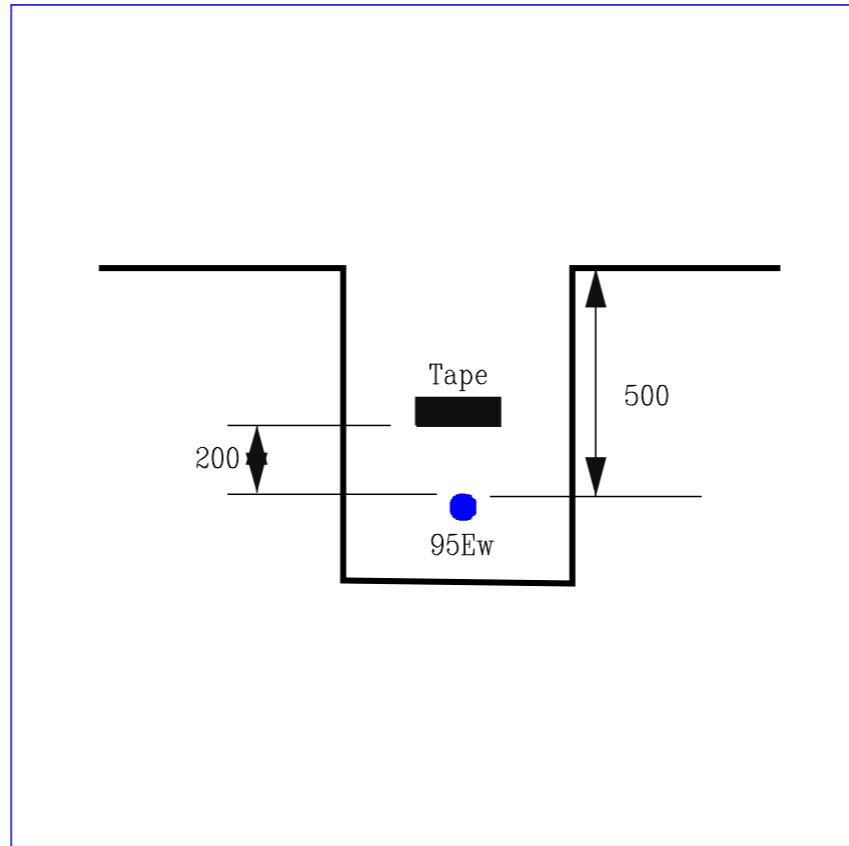
Cross Section (14140331)



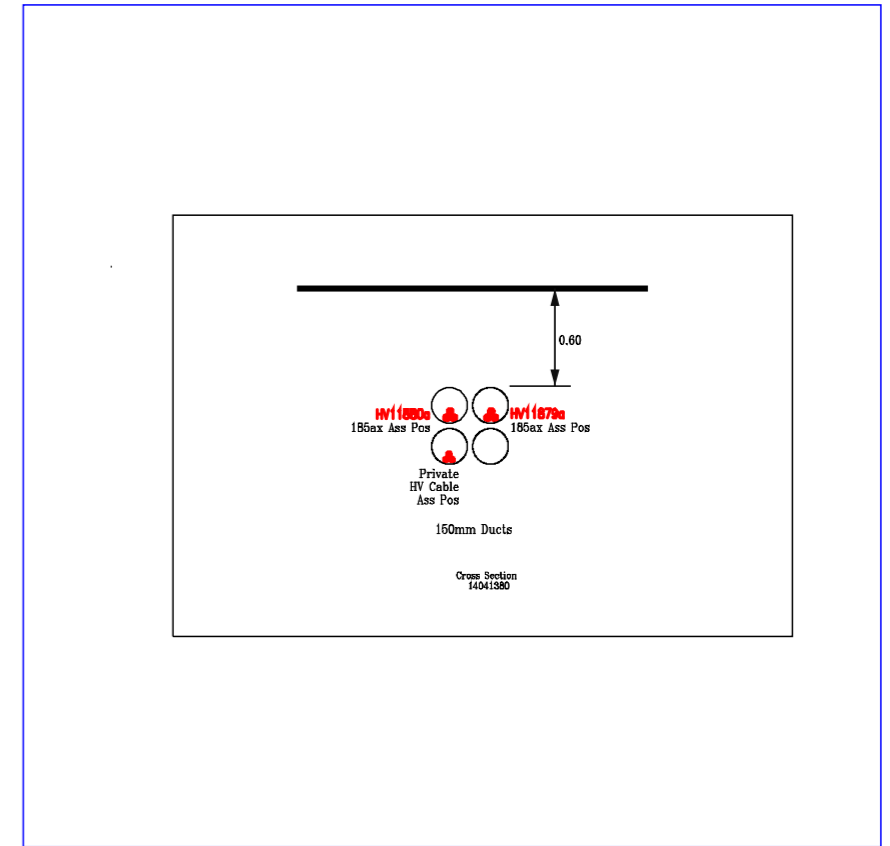
Cross Section (4276854)



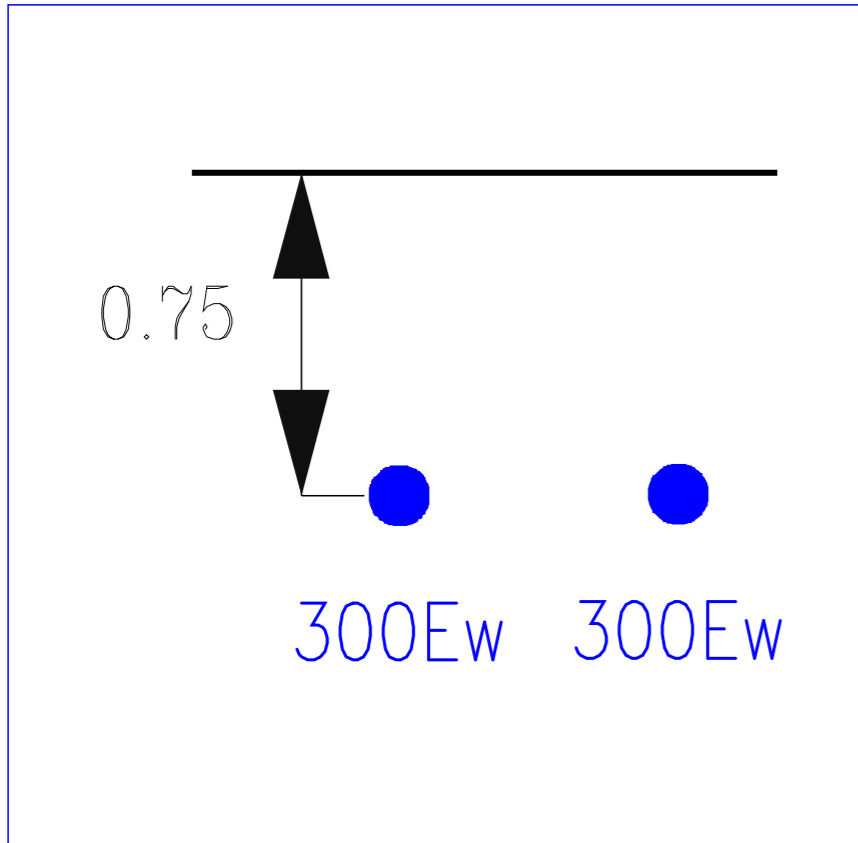
Cross Section (2280125)



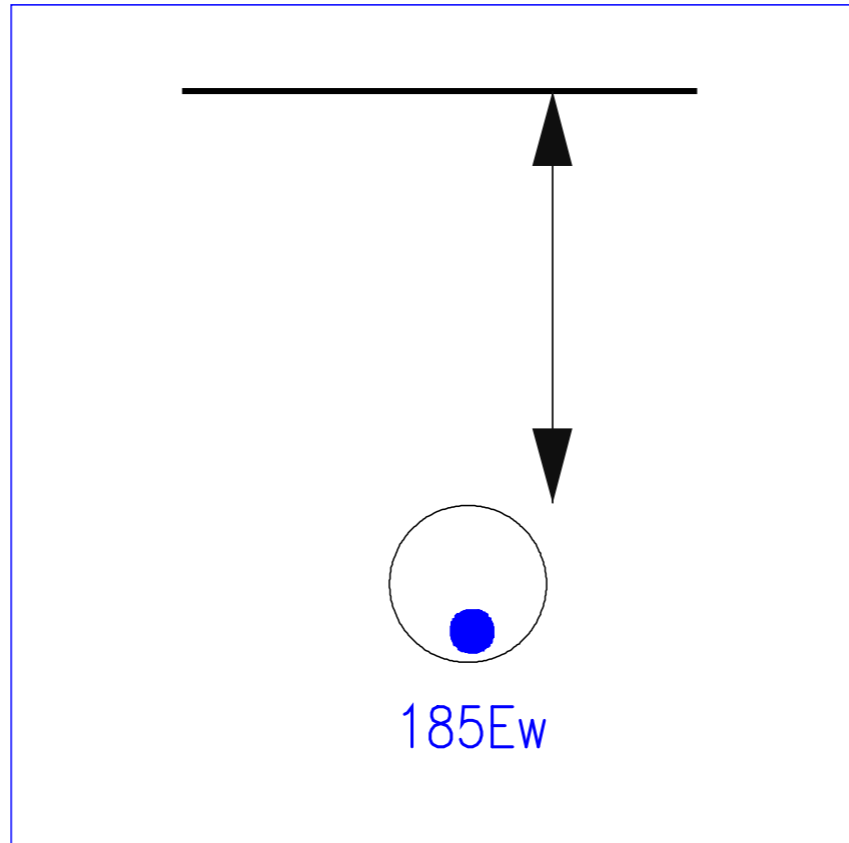
Cross Section (14041380)



Cross Section (4276851)



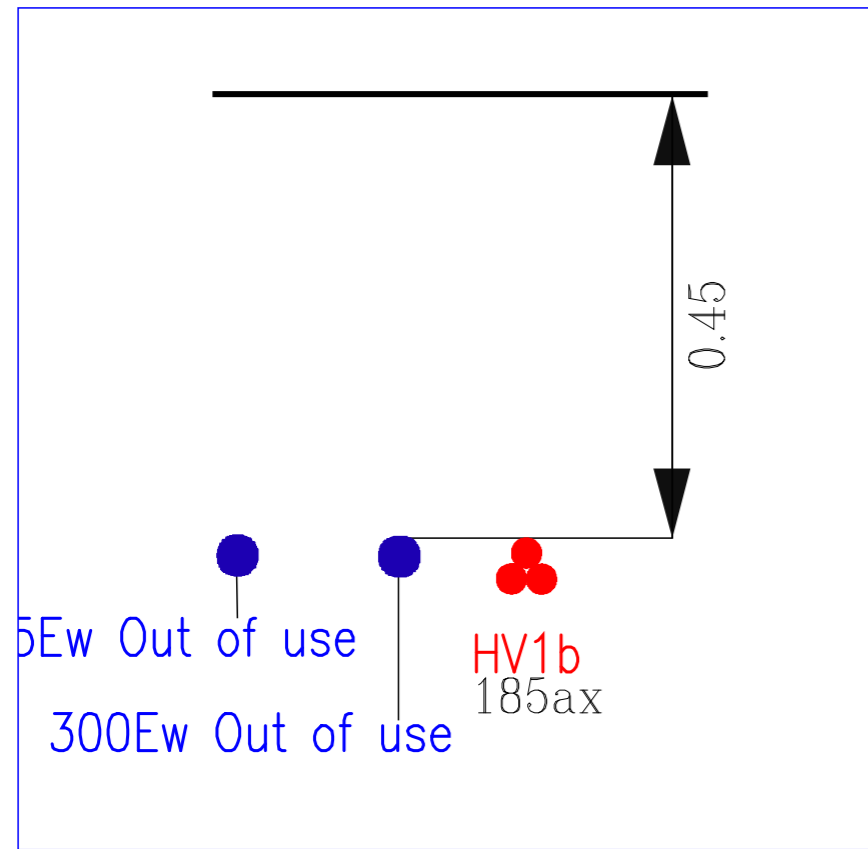
Cross Section (3881786)



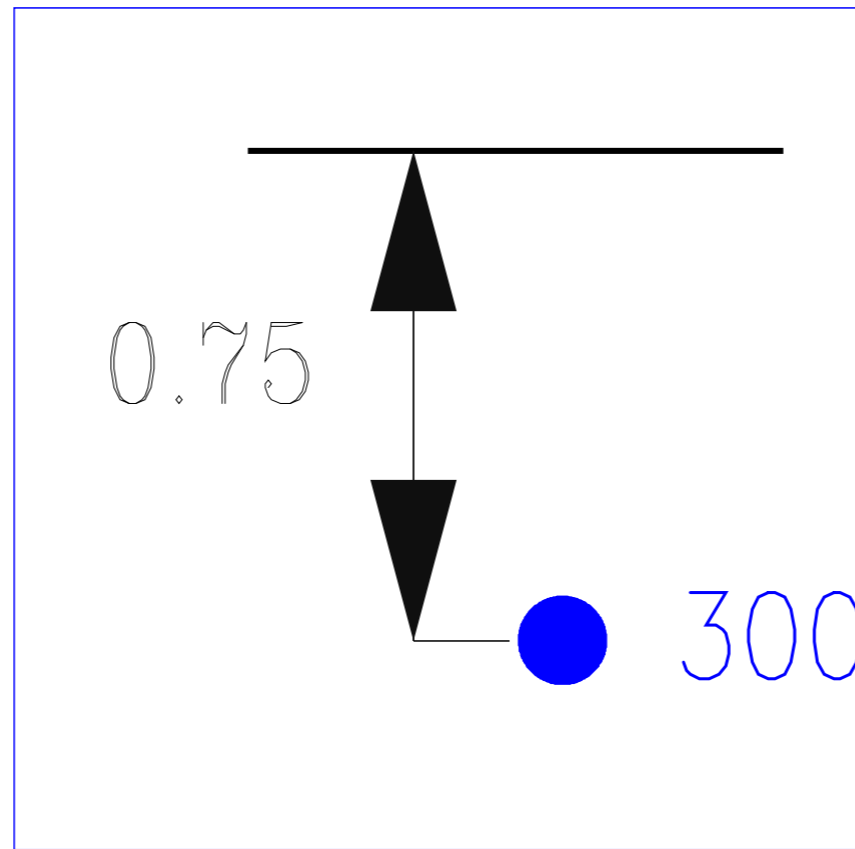
Cross Section (50)

See Supplementa
TQ3592SW
for Cross-Section

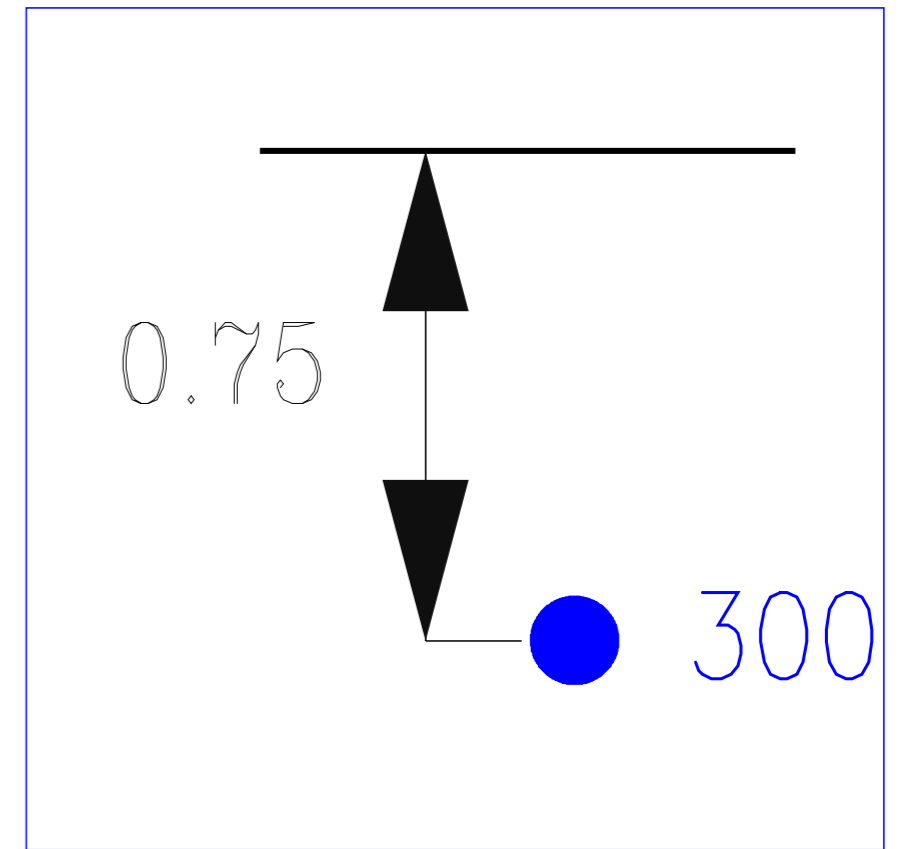
Cross Section (3679963)



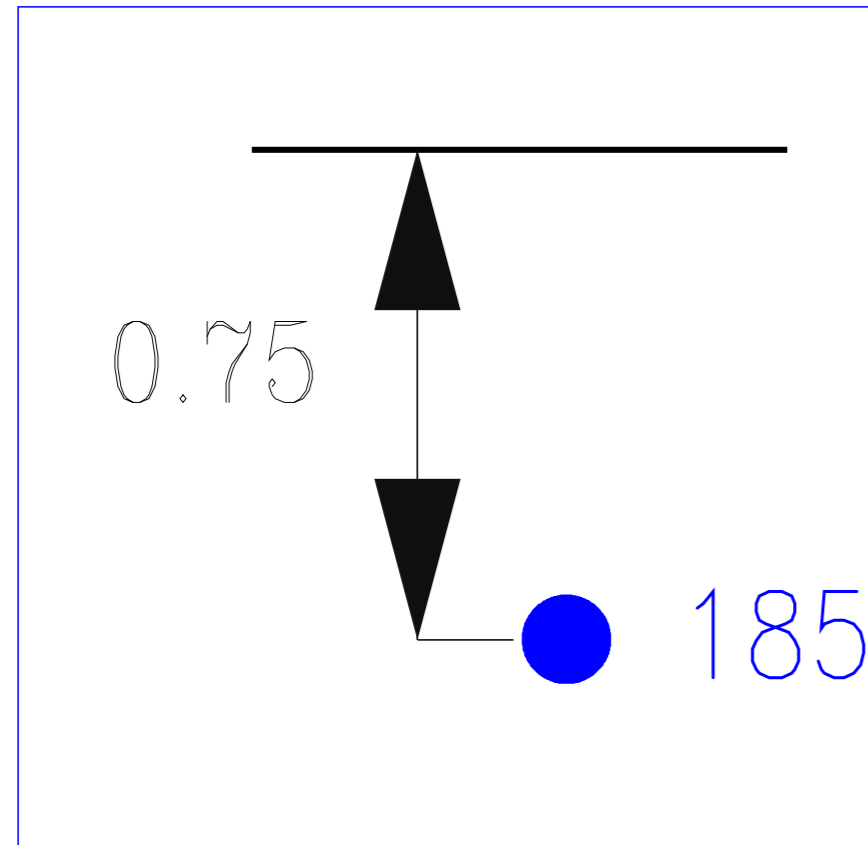
Cross Section (4276853)



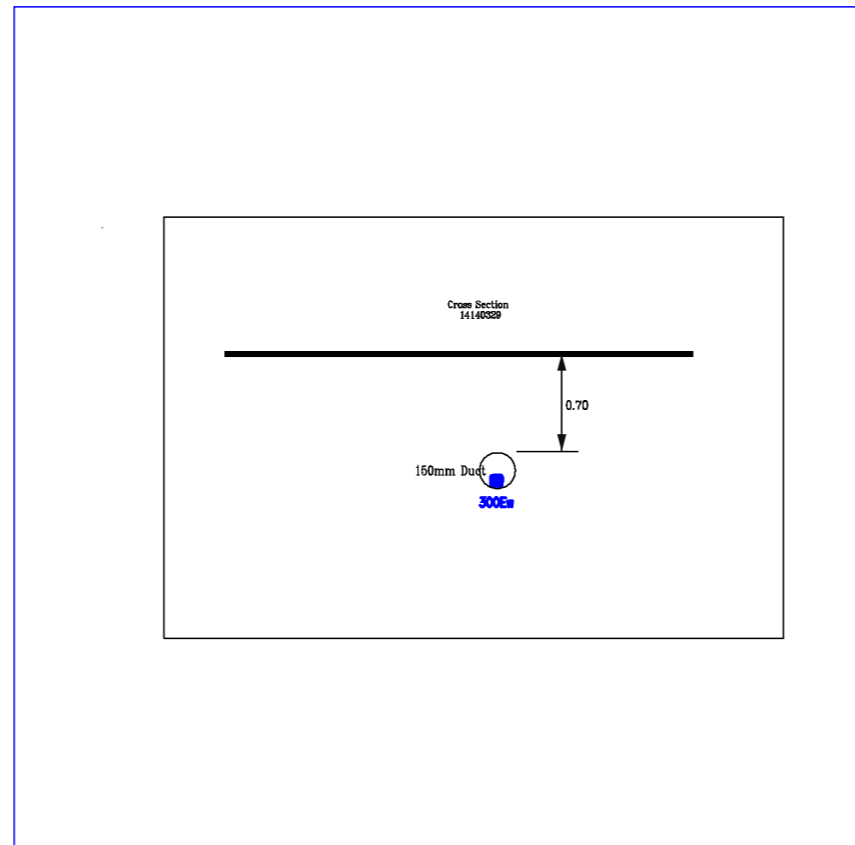
Cross Section (4276852)



Cross Section (4276848)



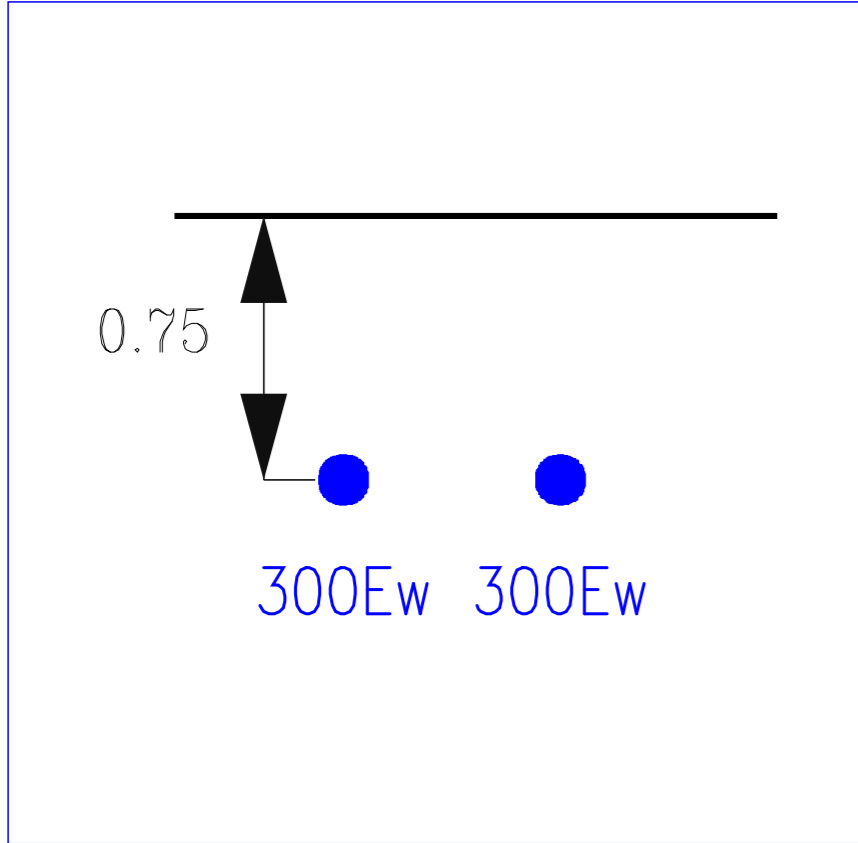
Cross Section (14140329)



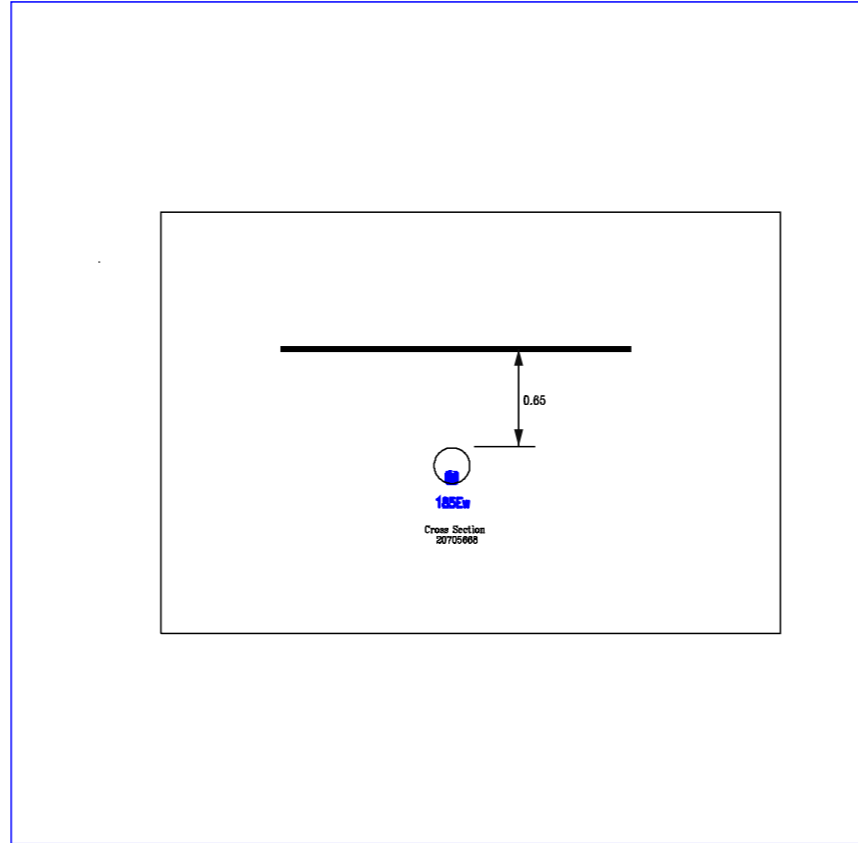
Cross Section (10)

See Supplementa
TQ3592SW
for Cross-Section

Cross Section (4276850)



Cross Section (20705668)



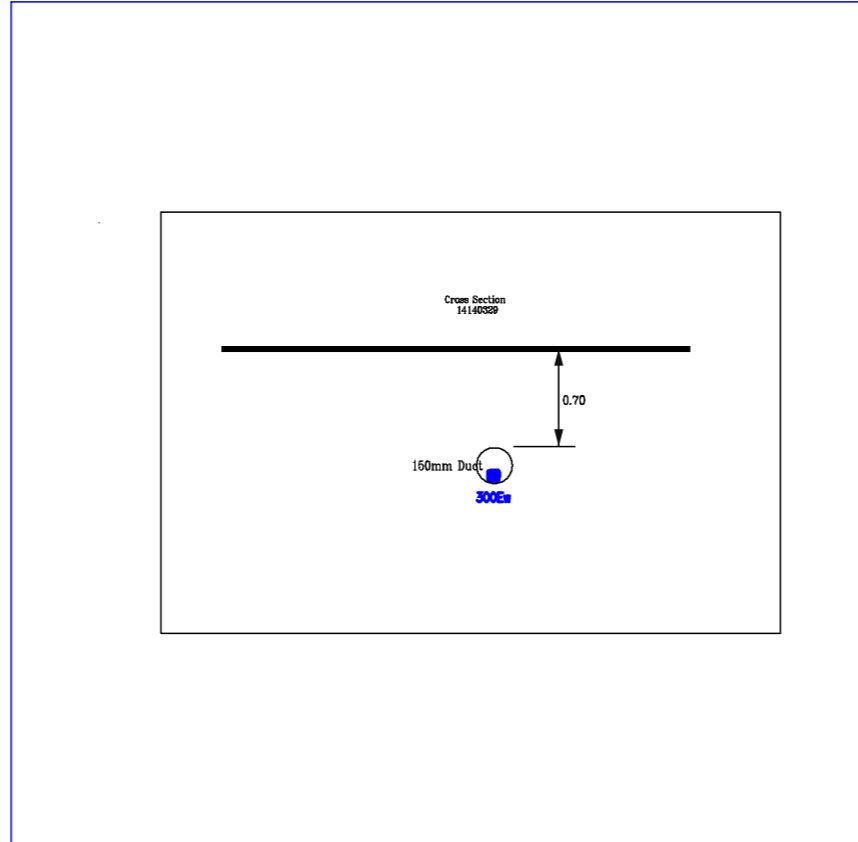
Cross Section (95)

See Supplementa
TQ3592SW
for Cross-Section

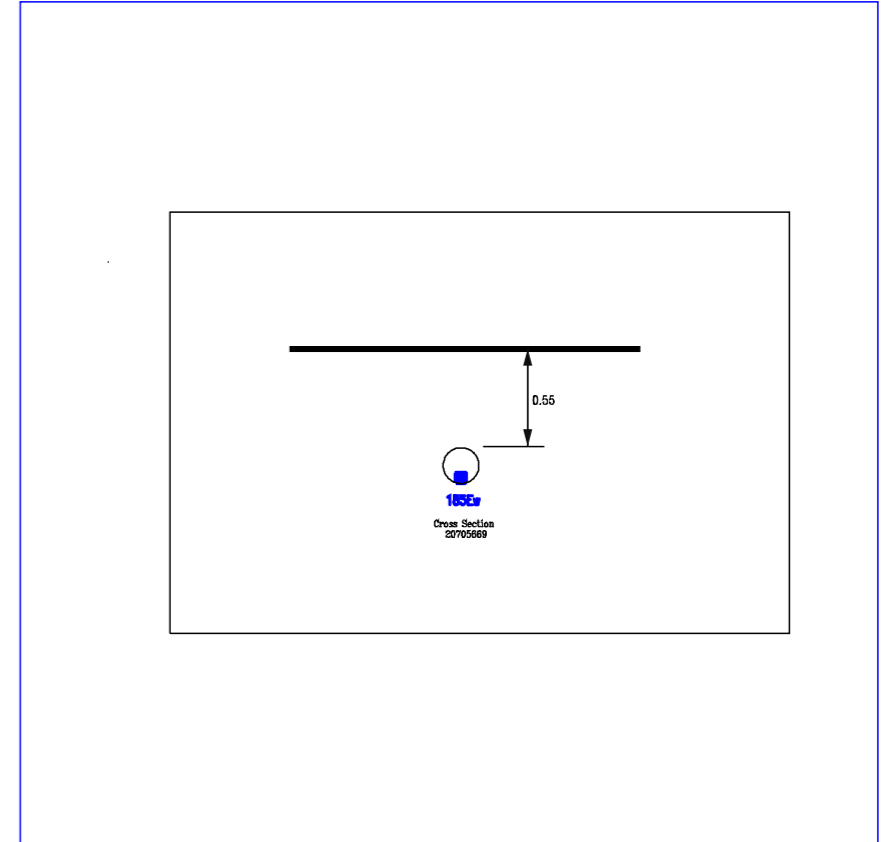
Cross Section (93)

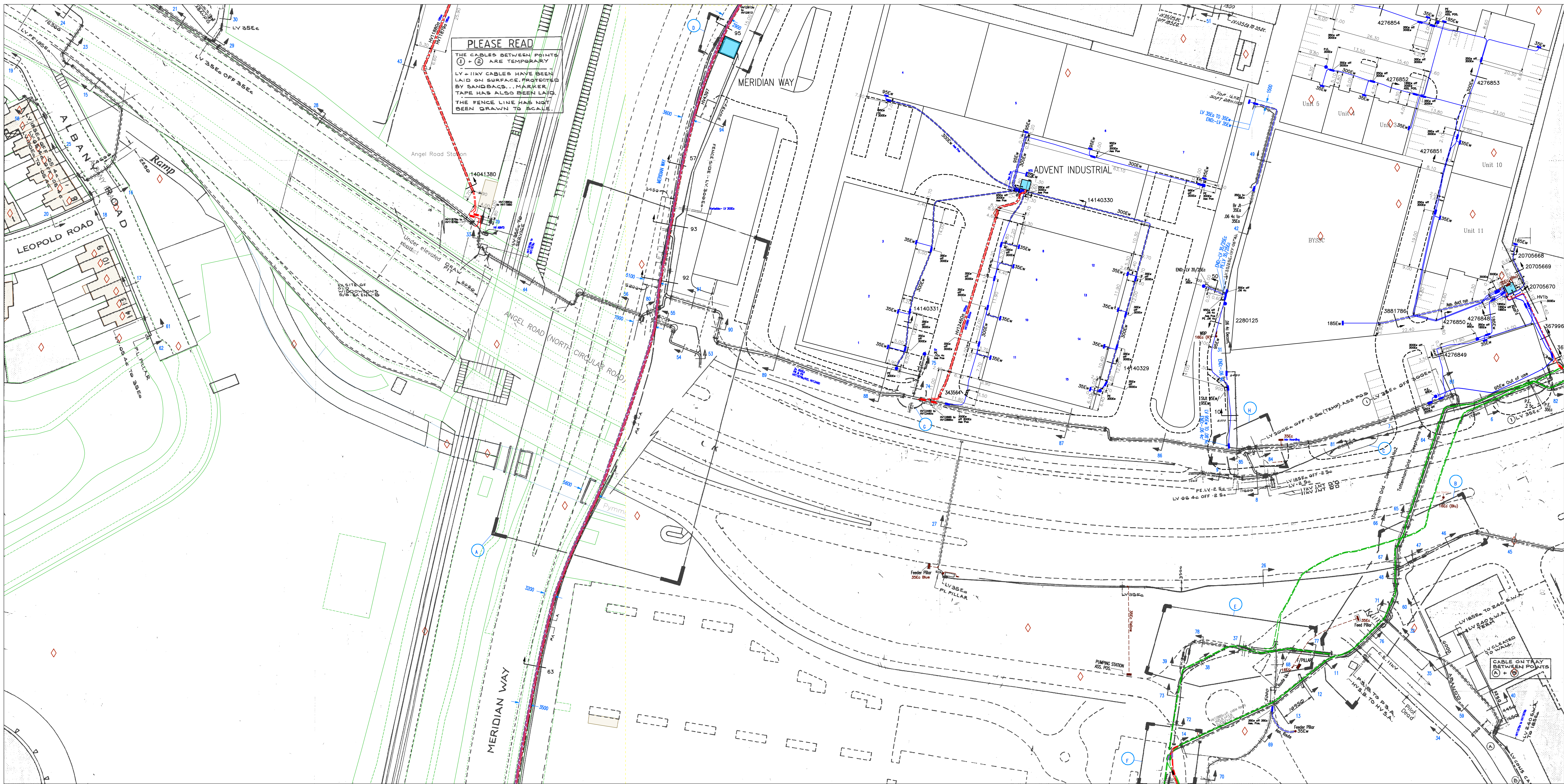
See Supplementa
TQ3592SW
for Cross-Section

Cross Section (14140330)



Cross Section (20705669)





PRIMARY CABLES
 EXTRA HIGH VOLTAGE CABLES (EHV) 22,000 TO 132,000 Volts
 Depth normally 750mm cover in carriageway & 600mm cover in footway.
 Before digging within one metre of these cable routes
 Telephone 0800 056 5866 in order that the Company's apparatus may be located on site and any necessary protection works agreed.

N.B. THRUST BORERS OR MOLES MUST NOT BE USED WITHIN THE VICINITY OF ANY CABLES BELONGING TO UK POWER NETWORKS WITHOUT FIRST CONTACTING THIS COMPANY.

1. The position of the apparatus shown on this drawing is believed to be correct but the original landmarks may have been altered since the apparatus was installed.
2. The exact position of the apparatus should be verified – use approved cable avoidance tools prior to excavation using suitable hand tools.
3. It is essential that trial holes are carefully made avoiding the use of mechanical tools or picks until the exact location of all cables have been determined.
4. It must be assumed that there is a service cable into each property, lamp column and street sign, etc.
5. All cables must be treated as being live unless proved otherwise by UK Power Networks.
6. The information provided must be given to all people working near UK Power Networks' plant & equipment. Do not use plans more than 3 months after the issue date for excavation purposes.
7. Please be aware that electric cables/lines belonging to other owners of licensed electricity distribution systems may be present and it is your responsibility to identify their location.

1. UK Power Networks Ltd does not warrant that the information provided to you is correct. You rely upon it at your own risk.
2. UK Power Networks Ltd does not exclude or limit its liability if it causes the death of a person or causes personal injury to a person where such death or personal injury is caused by its negligence.
3. Subject to paragraph 2, UK Power Networks Ltd has no liability to you in contract, in tort (including negligence), for breach of statutory duty or otherwise howsoever for any loss, damage, costs, claims, demands or expenses that you or any third party may suffer or incur as a result of using the information provided whether for physical damage to property or for any economic loss (including without limitation loss of profit, loss of opportunity, loss of savings, loss of goodwill, loss of business, loss of use) or any special or consequential loss or damage whatsoever.

Reproduced by permission of Ordnance Survey on behalf of HMSO. (c) Crown copyright and database right 2017. All rights reserved. Ordnance Survey Licence number 100019626. Data has been added to the Ordnance Survey base map; all proprietary rights in such additional data are and shall remain the exclusive property of (c) Eastern Power Networks plc or London Power Networks plc each being a distribution licensee under section 6(1)(c) of the Electricity Act 1989 for the relevant distribution services area as that term is defined in such licensee's distribution licence. All rights in such data reserved.

- ADVICE TO CONTRACTORS ON AVOIDING DANGER FROM BURIED ELECTRICITY CABLES.**
- 1) Do have cable drawings with you on site and check them before you start the excavation.
 - 2) Do have a cable locator tool on site and use it to help you.
 - 3) Mark out the location of electricity cables.
 - 4) Do not use a mechanical excavator within 0.5m of electricity cables.
 - 5) Use spades and shovels in preference to other tools.
 - 6) Never disturb electricity cables and joints or their protective covers.

IF IN DOUBT – ASK! PHONE 0800 056 5866
 EMERGENCY – If you damage a cable or line
 Phone 0800 780 0780 (24hrs) URGENTLY

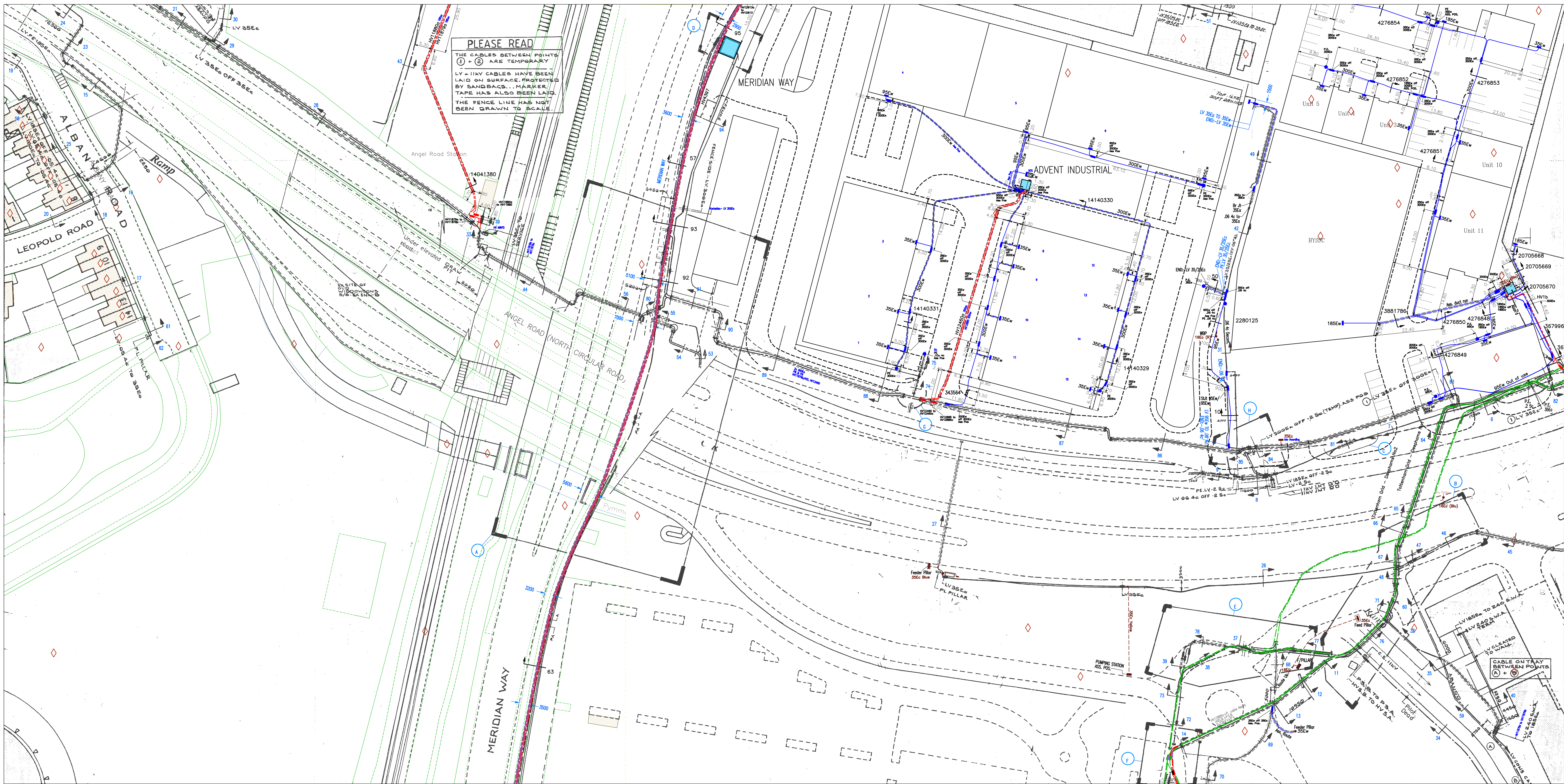
These basic safety precautions are explained in detail in the HSE booklet, HS(G)47 – Avoiding Danger from Underground Services, a copy of which may be obtained from your supervisor or HMSO.

Please be aware that electric lines belonging to other owners of licensed electricity distribution systems may be present and it is your responsibility to identify their location.

Plotted On : 02/06/2017
 Plotted By : Lynda Blizard
 Plot Description: LAND AT ALBANY ROAD LONDON N18 2DY
 2017/2256194/ug_mains
 Map Centre : TQ3592SW

UK Power Networks
 Plan Provision
 Fore Hamlet
 IPSWICH
 Suffolk
 IP3 8AA
 Tel 0800 0565 866
 Fax 08701 963782

For details of the symbology please refer to
<http://www.ukpowernetworks.co.uk/safety-emergencies/in-the-workplace/understanding-safety-symbols.shtml>



PRIMARY CABLES
EXTRA HIGH VOLTAGE CABLES (EHV) 22,000 TO 132,000 Volts

Depth normally 750mm cover in carriageway & 600mm cover in footway.
Before digging within one metre of these cable routes
Telephone 0800 056 5866 in order that the Company's apparatus may be located on site and any necessary protection works agreed.

N.B. THRUST BORERS OR MOLES MUST NOT BE USED WITHIN THE VICINITY OF ANY CABLES BELONGING TO UK POWER NETWORKS WITHOUT FIRST CONTACTING THIS COMPANY.

1. The position of the apparatus shown on this drawing is believed to be correct but the original landmarks may have been altered since the apparatus was installed.
2. The exact position of the apparatus should be verified – use approved cable avoidance tools prior to excavation using suitable hand tools.
3. It is essential that trial holes are carefully made avoiding the use of mechanical tools or picks until the exact location of all cables have been determined.
4. It must be assumed that there is a service cable into each property, lamp column and street sign, etc.
5. All cables must be treated as being live unless proved otherwise by UK Power Networks.
6. The information provided must be given to all people working near UK Power Networks' plant & equipment. Do not use plans more than 3 months after the issue date for excavation purposes.
7. Please be aware that electric cables/lines belonging to other owners of licensed electricity distribution systems may be present and it is your responsibility to identify their location.

1. UK Power Networks Ltd does not warrant that the information provided to you is correct. You rely upon it at your own risk.
2. UK Power Networks Ltd does not exclude or limit its liability if it causes the death of a person or causes personal injury to a person where such death or personal injury is caused by its negligence.
3. Subject to paragraph 2, UK Power Networks Ltd has no liability to you in contract, in tort (including negligence), for breach of statutory duty or otherwise howsoever for any loss, damage, costs, claims, demands or expenses that you or any third party may suffer or incur as a result of using the information provided whether for physical damage to property or for any economic loss (including without limitation loss of profit, loss of opportunity, loss of savings, loss of goodwill, loss of business, loss of use) or any special or consequential loss or damage whatsoever.

Reproduced by permission of Ordnance Survey on behalf of HMSO. (c) Crown copyright and database right 2017. All rights reserved. Ordnance Survey Licence number 100019626. Data has been added to the Ordnance Survey base map; all proprietary rights in such additional data are and shall remain the exclusive property of (c) Eastern Power Networks plc or London Power Networks plc each being a distribution licensee under section 6(1)(c) of the Electricity Act 1989 for the relevant distribution services area as that term is defined in such licensee's distribution licence. All rights in such data reserved.

ADVICE TO CONTRACTORS ON AVOIDING DANGER FROM BURIED ELECTRICITY CABLES.

- 1) Do have cable drawings with you on site and check them before you start the excavation.
- 2) Do have a cable locator tool on site and use it to help you.
- 3) Mark out the location of electricity cables.
- 4) Do not use a mechanical excavator within 0.5m of electricity cables.
- 5) Use spades and shovels in preference to other tools.
- 6) Never disturb electricity cables and joints or their protective covers.

IF IN DOUBT – ASK! PHONE 0800 056 5866
EMERGENCY – If you damage a cable or line
Phone 0800 780 0780 (24hrs) URGENTLY

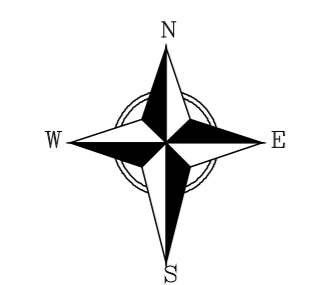
These basic safety precautions are explained in detail in the HSE booklet, HS(G)47 – Avoiding Danger from Underground Services, a copy of which may be obtained from your supervisor or HMSO.

Please be aware that electric lines belonging to other owners of licensed electricity distribution systems may be present and it is your responsibility to identify their location.

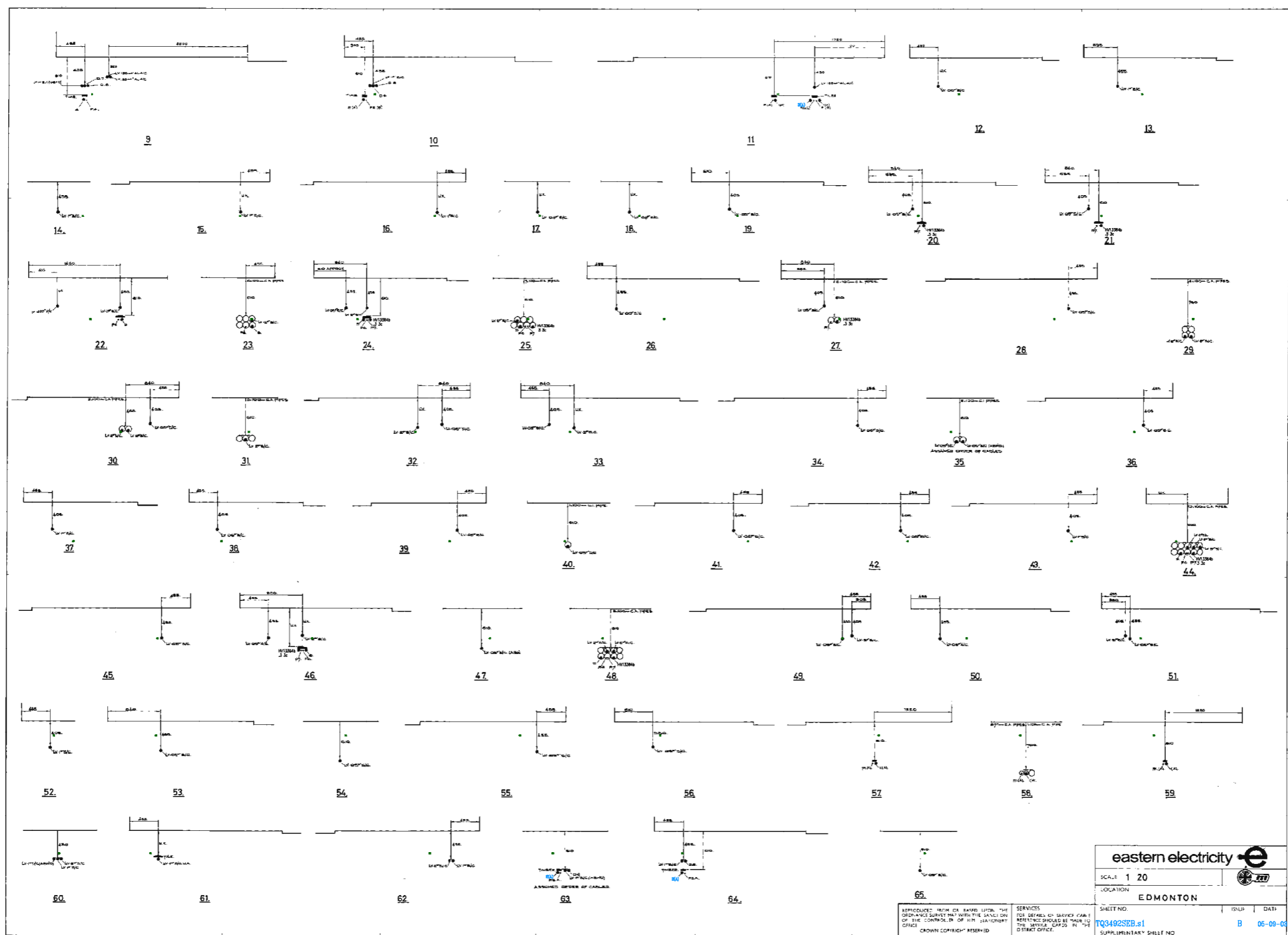
Plotted On : 02/06/2017
Plotted By : Lynda Blizard
Plot Description: LAND AT ALBANY ROAD LONDON N18 2DY
2017/2256194/33_mains
Map Centre : TQ3592SW



UK Power Networks
Plan Provision
Fore Hamlet
IPSWICH
Suffolk
IP3 8AA
Tel 0800 0565 866
Fax 08701 963782



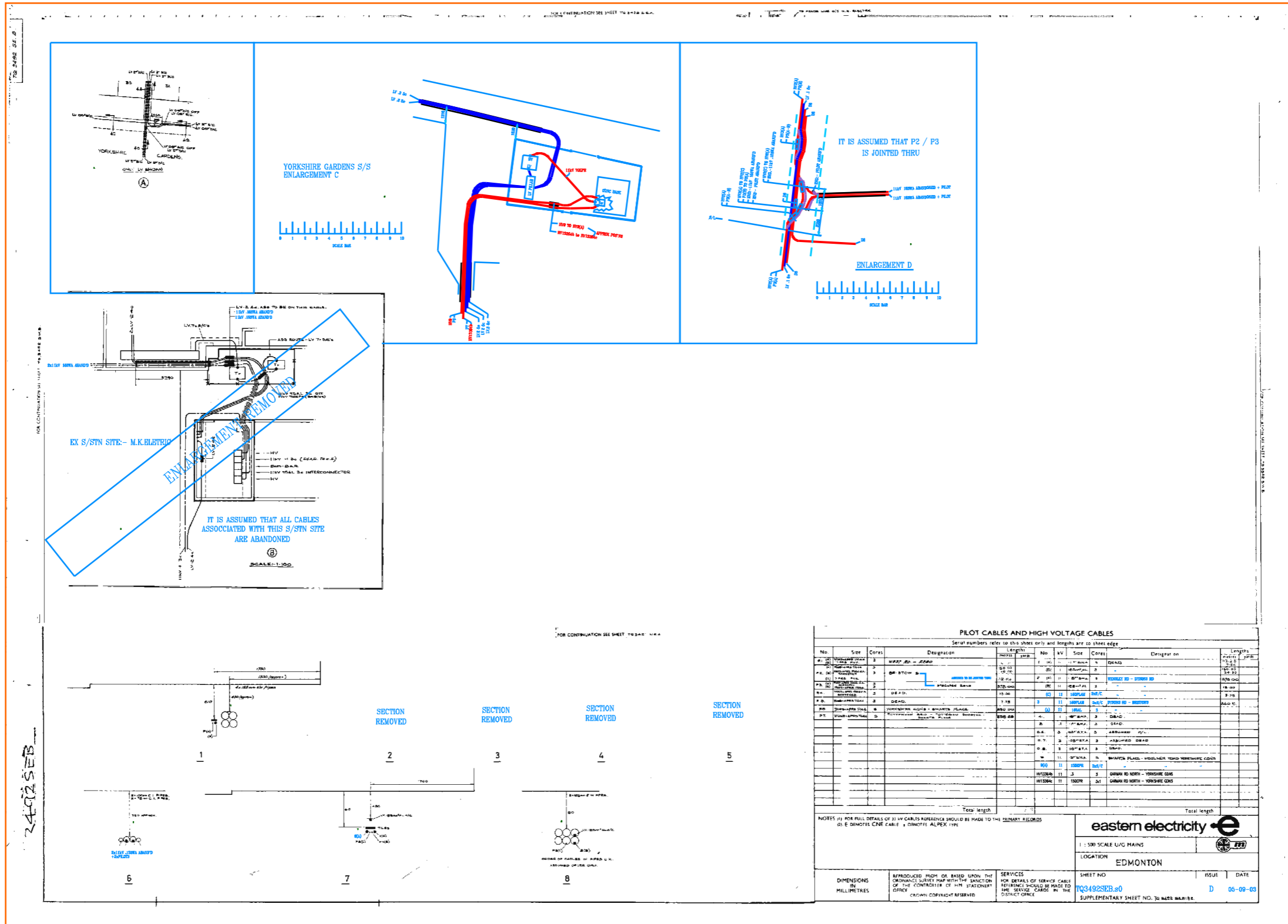
For details of the symbology please refer to <http://www.ukpowernetworks.co.uk/safety-emergencies/in-the-workplace/understanding-safety-symbols.shtml>



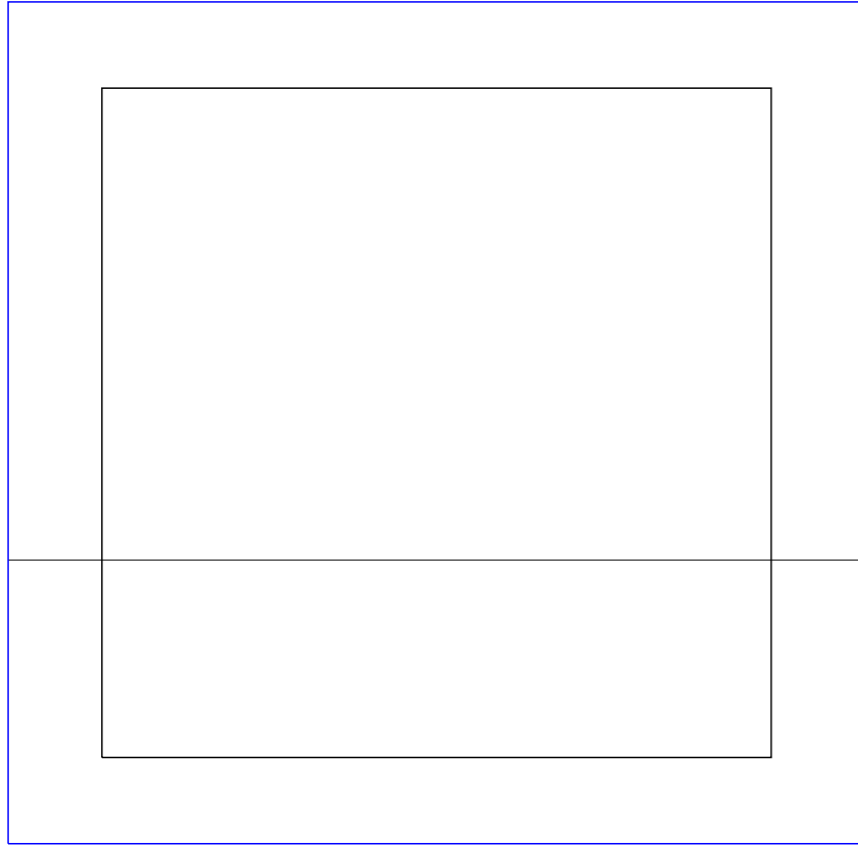
SCALE	1 20
LOCATION	EDMONTON
SHEET NO.	TQ3492SEB.s1
ISSUE	B
DATE	06-09-06
SUPPLEMENTARY SHEET NO.	

TQ3492SEB 1:500 LV

SO



Cross Section (8)



Cross Section (85)

See Supplementa
TQ3492SE
for Cross-Section

Cross Section (84)

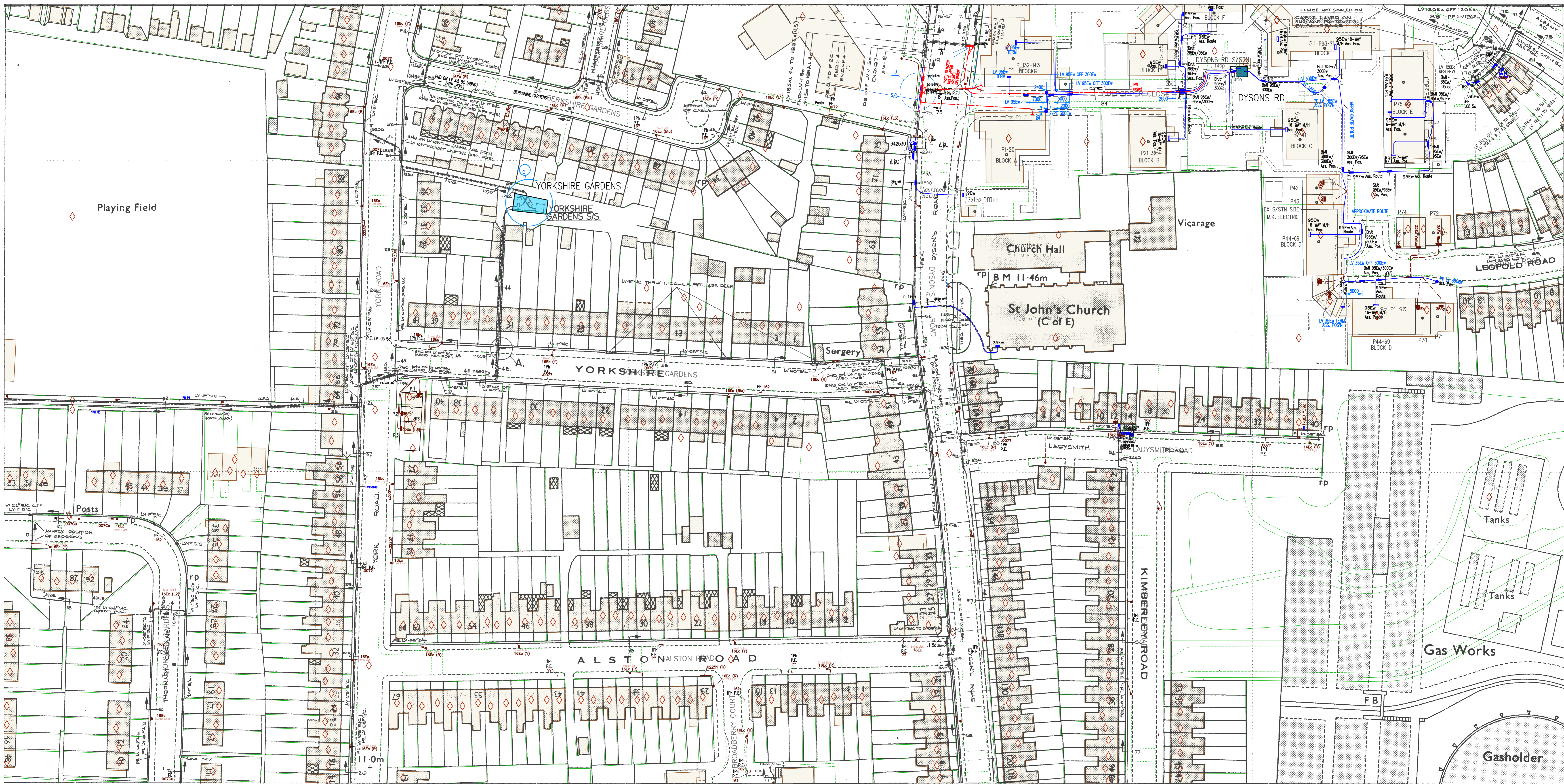
See Supplementa
TQ3492SE
for Cross-Section

Cross Section (75)

See Supplementa
TQ3492SE
for Cross-Section

Cross Section (6)

See Supplementa
TQ3492SE
for Cross-Section



Plotted On : 02/06/2017
 Plotted By : Lynda Blizard
 Plot Description: LAND AT ALBANY ROAD LONDON N18 2DY
 2017/2256194/ug_mains
 Map Centre : TQ3492SE

PRIMARY CABLES
 EXTRA HIGH VOLTAGE CABLES (EHV) 22,000 TO 132,000 Volts
 Depth normally 750mm cover in carriageway & 600mm cover in footway.
 Before digging within one metre of these cable routes Telephone 0800 056 5866 in order that the Company's apparatus may be located on site and any necessary protection works agreed.
 N.B. THRUST BORERS OR MOLES MUST NOT BE USED WITHIN THE VICINITY OF ANY CABLES BELONGING TO UK POWER NETWORKS WITHOUT FIRST CONTACTING THIS COMPANY.

1. The position of the apparatus shown on this drawing is believed to be correct but the original landmarks may have been altered since the apparatus was installed.
2. The exact position of the apparatus should be verified – use approved cable avoidance tools prior to excavation using suitable hand tools.
3. It is essential that trial holes are carefully made avoiding the use of mechanical tools or picks until the exact location of all cables have been determined.
4. It must be assumed that there is a service cable into each property, lamp column and street sign, etc.
5. All cables must be treated as being live unless proved otherwise by UK Power Networks.
6. The information provided must be given to all people working near UK Power Networks' plant & equipment. Do not use plans more than 3 months after the issue date for excavation purposes.
7. Please be aware that electric cables/lines belonging to other owners of licensed electricity distribution systems may be present and it is your responsibility to identify their location.

1. UK Power Networks Ltd does not warrant that the information provided to you is correct. You rely upon it at your own risk.
2. UK Power Networks Ltd does not exclude or limit its liability if it causes the death of a person or causes personal injury to a person where such death or personal injury is caused by its negligence.
3. Subject to paragraph 2, UK Power Networks Ltd has no liability to you in contract, in tort (including negligence), for breach of statutory duty or otherwise howsoever for any loss, damage, costs, claims, demands or expenses that you or any third party may suffer or incur as a result of using the information provided whether for physical damage to property or for any economic loss (including without limitation loss of profit, loss of opportunity, loss of savings, loss of goodwill, loss of business, loss of use) or any special or consequential loss or damage whatsoever.

Reproduced by permission of Ordnance Survey on behalf of HMSO. (c) Crown copyright and database right 2017. All rights reserved. Ordnance Survey Licence number 100019626. Data has been added to the Ordnance Survey base map; all proprietary rights in such additional data are and shall remain the exclusive property of (c) Eastern Power Networks plc or London Power Networks plc each being a distribution licensee under section 6(1)(c) of the Electricity Act 1989 for the relevant distribution services area as that term is defined in such licensee's distribution licence. All rights in such data reserved.

ADVICE TO CONTRACTORS ON AVOIDING DANGER FROM BURIED ELECTRICITY CABLES.

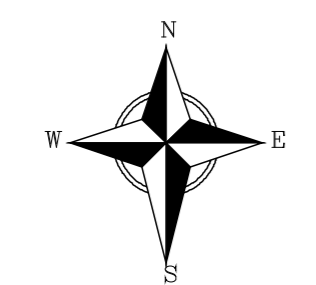
- 1) Do have cable drawings with you on site and check them before you start the excavation.
- 2) Do have a cable locator tool on site and use it to help you.
- 3) Mark out the location of electricity cables.
- 4) Do not use a mechanical excavator within 0.5m of electricity cables.
- 5) Use spades and shovels in preference to other tools.
- 6) Never disturb electricity cables and joints or their protective covers.

IF IN DOUBT – ASK! PHONE 0800 056 5866
 EMERGENCY – If you damage a cable or line
 Phone 0800 780 0780 (24hrs) URGENTLY

These basic safety precautions are explained in detail in the HSE booklet, HS(G)47 – Avoiding Danger from Underground Services, a copy of which may be obtained from your supervisor or HMSO.

Please be aware that electric lines belonging to other owners of licensed electricity distribution systems may be present and it is your responsibility to identify their location.

UK Power Networks
 Plan Provision
 Fore Hamlet
 IPSWICH
 Suffolk
 IP3 8AA
 Tel 0800 0565 866
 Fax 08701 963782



For details of the symbology please refer to <http://www.ukpowernetworks.co.uk/safety-emergencies/in-the-workplace/understanding-safety-symbols.shtml>

The electronic official certificate of result in respect of your search of the index map follows this message.

Please note that this electronic version is the only certificate of result we will issue. No postal certificate of result will be sent.

Certificate Date: 26 May 2017
Certificate Time: 00:00:01
Certificate Ref: 36/Z15FZLB

Property	Land marked on the plan attached to the application and described in form SIM as LAND AT, ALBANY ROAD, LONDON, N18 2DY.
-----------------	--

The index map does not define the extent of the land in any registered title. This reflects the fact that the boundary of a registered estate as shown for the purposes of the register is a general boundary, unless shown as determined under section 60 of the Land Registration Act 2002. You might also wish to refer to the individual register and title plan of any adjoining titles for details of the surrounding registered estates and their general boundaries and/or determined boundaries.

Result

The index map has been searched in respect of the Property with the following result:

Plan reference	Title No. Registered Estate or Caution	Notes
Not Applicable	AGL146548 Freehold	

The plan lodged with your application for a search of the index map has been accepted for this application. Any statement of disclaimer has been disregarded as it is assumed that it was not intended to apply for the purposes of the application.

Please note that the acceptance of the plan for this particular application does not necessarily mean that the same plan would be accepted if subsequently used for another application. All plans lodged with a Land Registry application should comply with the guidelines in Land Registry's Practice Guide 40, Supplement 2. Lodging a plan which does not comply with the guidelines may result in requisitions being raised, (such as a request to delete a statement of disclaimer) or the application being cancelled.

Continued on Page 2

Your Reference: 043574.1/CLHS/ALBANY	Key Number: -----	For any enquiries concerning this certificate, please contact: Customer Support: email customersupport@landregistry.gov.uk telephone 0300 006 0411 (lines open Monday to Friday 8am until 6pm)
TM Group (UK) Limited DX242 London Chancery		

Certificate Date: 26 May 2017
Certificate Time: 00:00:01
Certificate Ref: 36/Z15FZLB

No other registered estate, caution against first registration, application for first registration or application for a caution against first registration is shown on the index map in relation to the Property.

++++The following message is for information only and does NOT form part of the result of the search++++ Business e-Services (portal) Users can also take advantage of MapSearch, a Free service allowing customers to search an online map to establish if land and property is registered or not, and obtain title numbers.

For further information about:

SIMs - see Practice Guide 10 - Official searches of the Index Map.

How to obtain official copies - see Practice Guide 11 - Inspection and applications for official copies.

Plan requirements for registration - see Practice Guide 40 - Land Registry plans - (www.gov.uk/land-registry).

Ordnance Survey map products - (www.ordnancesurvey.co.uk).

END OF RESULT

The electronic official copy of the register follows this message.

Please note that this is the only official copy we will issue. We will not issue a paper official copy.



Official copy of register of title

Title number AGL146548

Edition date 03.06.2014

- This official copy shows the entries on the register of title on 26 MAY 2017 at 11:30:32.
- This date must be quoted as the "search from date" in any official search application based on this copy.
- The date at the beginning of an entry is the date on which the entry was made in the register.
- Issued on 26 May 2017.
- Under s.67 of the Land Registration Act 2002, this copy is admissible in evidence to the same extent as the original.
- This title is dealt with by HM Land Registry, Wales Office.

A: Property Register

This register describes the land and estate comprised in the title.

ENFIELD

- 1 (14.10.2005) The Freehold land shown edged with red on the plan of the above Title filed at the Registry and being Land on the East side of Kimberley Road, London.
- 2 (14.10.2005) The Transfer referred to in the Charges Register contains a provision excluding the operation of Section 62 of the Law of Property Act 1925 as therein mentioned.
- 3 (03.06.2014) The land edged and numbered in green on the title plan has been removed from this title and registered under the title number or numbers shown in green on the said plan.

B: Proprietorship Register

This register specifies the class of title and identifies the owner. It contains any entries that affect the right of disposal.

Title absolute

- 1 PROPRIETOR: TRANSPORT FOR LONDON of The Property Asset Register Manager, Windsor House, 42 - 50 Victoria Street, London SW1H 0TL.
- 2 (14.10.2005) The price stated to have been paid on 14 March 2003 was £585,000.

C: Charges Register

This register contains any charges and other matters that affect the land.

- 1 (10.04.2001) A Conveyance of the land tinted blue on the title plan and other land dated 18 November 1898 made between (1) George Cobley-Smyth Richards and (2) Albert Norrington contains restrictive covenants but neither the original deed nor a certified copy or examined abstract thereof was produced on first registration.
- 2 (10.04.2001) A Conveyance of the land tinted brown on the title plan and other land dated 25 September 1900 between (1) George Cobley Smyth-

C: Charges Register continued

Richards (Vendor) and (2) Thomas Griffiths (Purchaser) contains covenants details of which are set out in the schedule of restrictive covenants hereto.

- 3 (10.04.2001) A Conveyance dated 27 November 1906 affecting (inter alia) the land tinted mauve and tinted yellow on the title plan made between (1) Louis Constad (2) Henry Cubitt Gooch and (3) Richard Seymour contains a covenant which prohibited the erection on any part of the land known as the Dysons Lane Estate (other than that conveyed by the said indenture to the said Richard Seymour) of any tavern hotel public house or beershop on and the sale in or upon the said Dysons Lane Estate (save as aforesaid) of any beers wines spirits or exciseable liquors for consumption on or off the premises.

NOTE: Neither the original conveyance nor a certified copy or examined abstract thereof was supplied on first registration.

- 4 (10.04.2001) A Conveyance of the land tinted yellow on the title plan dated 18 April 1913 made between (1) Louis Constad (Vendor) and (2) The Tottenham and Edmonton Gas Light and Coke Company (Purchaser) contains covenants details of which are set out in the schedule of restrictive covenants hereto.

- 5 (10.04.2001) The land is subject to the rights granted by a Deed dated 25 January 2001 made between (1) Lattice Property Holdings Limited and (2) Transco Plc.

The said Deed also contains restrictive covenants by the grantor.

NOTE: Filed under AGL89444.

- 6 (14.10.2005) The land is subject to the rights reserved by a Transfer of the land in this title dated 14 March 2003 made between (1) Secondsite Property Holdings Limited and (2) Transport for London.

NOTE: Copy filed.

Schedule of restrictive covenants

- 1 The following are details of the covenants contained in the Conveyance dated 25 September 1900 referred to in the Charges Register:-

AND the Purchaser for himself his heirs and assigns, hereby covenants with the Vendor his heirs and assigns that he the Purchaser his heirs and assigns will at all times hereafter abide by observe and perform the said several stipulations and conditions.

The First Schedule above referred to

1. Each Purchaser shall when required by the adjoining owner, forthwith make and afterwards maintain the boundary fences next the road and on the sides of his lot marked T within the boundary. No fence to exceed 6 feet in height.

2. All buildings shall be erected in accordance with the buiding lines shown. The trade of an Innkeeper, Victualler, or Retailer of Wines, Spirits, Ale or Beer, shall not be carried on upon any lot excepting lot 5. Nor shall any building be erected for or used as a shop, except upon lots 4,5,38 and 39 nor any trade or manufacture be carried on nor any operative machinery be fixed or placed on any lot. No building shall be erected of less value than £125 upon any of the lots. The value of a building shall be the amount of its net first cost in material and labour of construction only estimated at the lowest current prices. No sheds will be permitted except during the progress of building.

3. No sand, gravel or earth shall be dug upon any lot until the purchase-money is full paid, except for the purpose of building thereon immediately after the same is excavated or dug out.

4. No hut, tent, caravan houe on wheels or other chattel shall be made, placed or used, or be allowed to remain on any part of the

Schedule of restrictive covenants continued

property sold without the previous consent in writing of the vendor, his heirs or assigns, and the vendor, his heirs or assigns may remove and dispose of any such erection, or any such thing and for that purpose may break or remove fences and forcibly enter upon the said property or any parts or part thereof, and shall not be responsible for the safe keeping of anything so removed or for the loss thereof or for any damage thereto or to any fence. The Vendor reserves the right to modify or alter these stipulations.

NOTE 1: The T marks referred to in Clause 1 above affect the north eastern boundary of the land comprised in the Conveyance

NOTE 2: The land comprised in the Conveyance formed Lots 40 and 41.

End of register

These are the notes referred to on the following official copy

The electronic official copy of the title plan follows this message.

Please note that this is the only official copy we will issue. We will not issue a paper official copy.

This official copy was delivered electronically and when printed will not be to scale. You can obtain a paper official copy by ordering one from Land Registry.

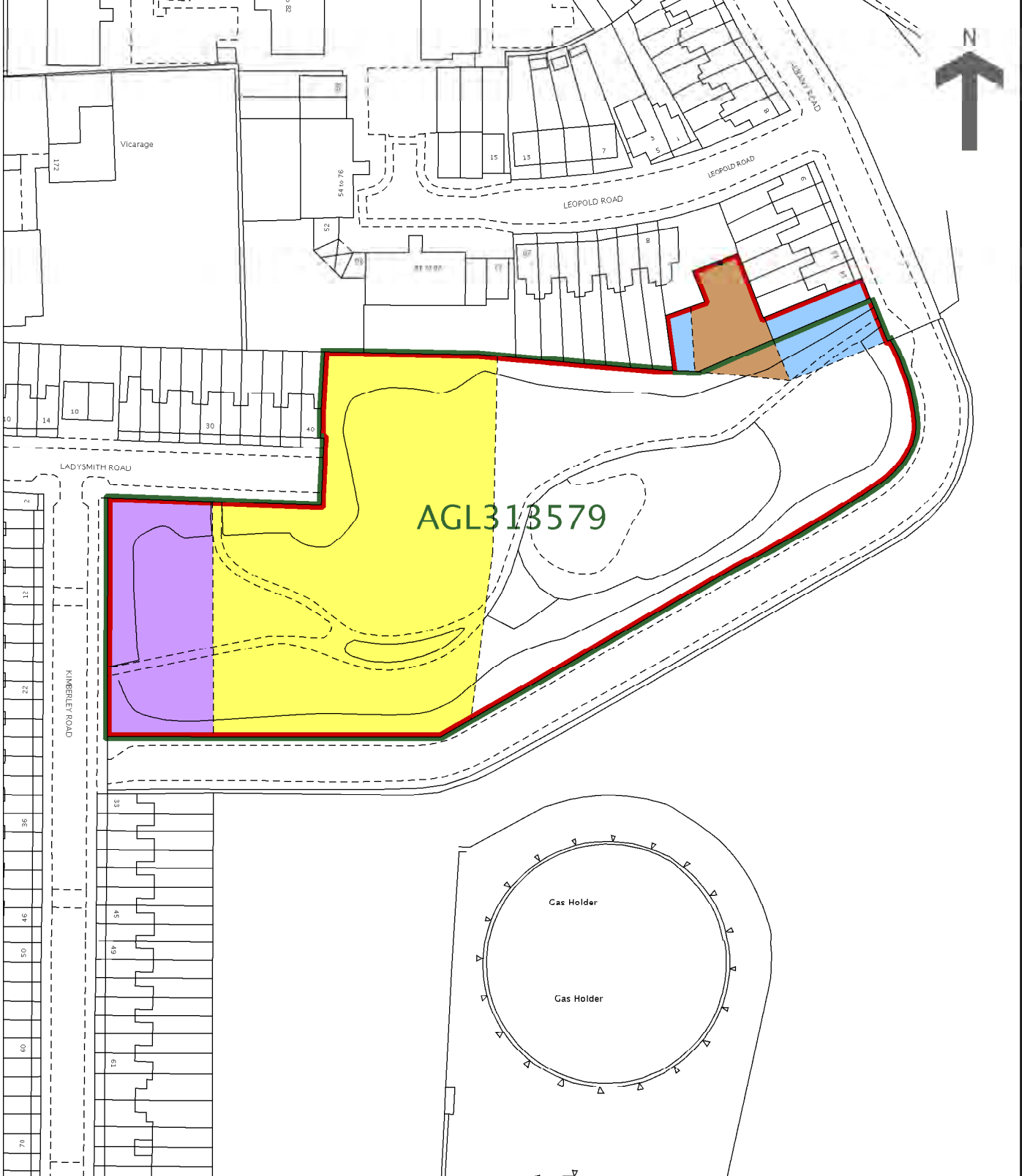
This official copy is issued on 26 May 2017 shows the state of this title plan on 26 May 2017 at 11:30:33. It is admissible in evidence to the same extent as the original (s.67 Land Registration Act 2002). This title plan shows the general position, not the exact line, of the boundaries. It may be subject to distortions in scale. Measurements scaled from this plan may not match measurements between the same points on the ground. This title is dealt with by the HM Land Registry, Wales Office .

HM Land Registry
Official copy of
title plan

Title number **AGL146548**
Ordnance Survey map reference **TQ3492SE**
Scale **1:1250**
Administrative area **Enfield**



© Crown Copyright. Produced by HM Land Registry. Reproduction in whole or in part is prohibited without the prior written permission of Ordnance Survey. Licence Number 100026316.



These are the notes referred to on the following official copy

Title Number AGL146548

The electronic official copy of the document follows this message.

This copy may not be the same size as the original.

Please note that this is the only official copy we will issue. We will not issue a paper official copy.

H.M. LAND REGISTRY
LAND REGISTRATION ACTS 1925 - 1988

County and
District :

Title No :

Property :

THIS DEED OF GRANT is made on 25 January 2001 2000 EG

1 Particulars

1.1 "the Grantor" LATTICE PROPERTY HOLDINGS LIMITED of 130 Jermyn Street London SW1Y 4UR which expression where the context so admits shall include (his or their) successors in title and assigns

1.2 "Transco" TRANSCO PLC of 130 Jermyn Street London SW1Y 4UR (Company Registration Number 2006000) which where the context so admits shall include its successors and assigns

2 Recitals

WHEREAS

The Grantor is applying to become the registered proprietor with Title Absolute of the land shown for the purpose of identification only edged blue on the plan annexed hereto (hereinafter called the "said land") pursuant to a transfer dated even date herewith between the parties hereto but in reverse order of the said land or land including the said land

2.1 Transco's Desire to Lay Pipelines

Transco is a public gas transporter within the meaning of Section 7 of the Gas Act 1986 as amended by the Gas Act 1995 and is the owner of a gas transmission and distribution network which together with terminals storage facilities and other apparatus comprise Transco's undertaking and desires to maintain a pipeline and ancillary apparatus in the said land and

2.2 Use of Pipeline by Other Persons

Under the provisions of the Gas Act 1986 (as amended by the Gas Act 1995) Transco is directed to transmit gas on behalf of others and

2.3 Agreement to Grant Easements

The Grantor has agreed to grant to Transco the easements hereinafter mentioned and Transco has agreed to enter into the covenants hereinafter contained



3 Grant of Easements

- 3.1 In pursuance of the said agreement and in consideration of Transco's covenants hereinafter contained the Grantor with limited title guarantee (and to the intent that the easements hereby granted shall be appurtenant to Transco's undertaking and each and every part thereof) **HEREBY GRANTS** unto Transco **THE EASEMENTS** to retain lay construct inspect maintain protect use replace enlarge remove or render unusable a pipeline for the transmission or storage of gas or other ancillary materials (whether such gas or materials are transmitted by Transco on its own behalf or on behalf of other persons) and all necessary apparatus ancillary thereto (all hereinafter together called "**the said works**") in upon and over the strips of land shown yellow on the plan attached for identification purposes (insofar as such Strips are within the said land) such strips of land being further described in the First Schedule (hereinafter called "**the said strips of land**") and to pass over the said strips of land for the purposes of the said works and of any works of Transco contiguous therewith and over the said land for the purpose of access to the said strips of land at all reasonable times and in an emergency at any time whether or not with workmen vehicles machinery and apparatus **TO HOLD** the same unto Transco in fee simple

4 Covenants by Transco

Transco (to the intent and so as to bind the easements hereby granted into whosoever hands the same may come and to benefit and protect the said land and every part thereof but so that Transco and its successors in title shall not be liable once it or they shall have parted with all their respective interests in the said works **PROVIDED THAT** it has secured a direct covenant from their respective transferee in favour of the Grantor or the Grantor's successor in title an obligation to perform and observe any positive covenants contained herein on the part of Transco) **HEREBY COVENANTS** with the Grantor as follows:

- 4.1 In exercising the easements hereby granted Transco shall take all reasonable precautions to avoid obstruction to or interference with the user of the said land and damage and injury thereto
- 4.2 Transco shall so far as is reasonably practicable make good all damage or injury to the said land caused by the exercise by Transco of the easements hereby granted and shall make full compensation to the Grantor in respect of any such damage or injury in so far as the same shall not have been made good as aforesaid
- 4.3 Transco shall so far as is reasonably practicable and so long as the said works are used for or in connection with the transmission or storage of gas or other materials as aforesaid keep the said works in proper repair and condition and upon abandonment of the said works or any part thereof (notification whereof shall be given to the Grantor by Transco) shall render the same permanently safe

- 4.4 Transco shall keep the Grantor indemnified against all actions claims or demands arising by reason of the exercise of the easements hereby granted or of any failure to keep the said works in proper repair and condition as aforesaid (except any such actions claims or demands as may be occasioned by the default or wrongful act of the Grantor his servants or agents)
- 4.5 Transco shall indemnify and keep indemnified the Grantor against all loss damage claims demands costs and expenses which may arise or be incurred by virtue of any damage or destruction of the pipeline aforesaid or any apparatus or equipment attached thereto or used in connection therewith or any escape of any gas or other material whatsoever from the said pipeline or any such apparatus or equipment as aforesaid where such damage destruction or escape is caused by the acts or omissions of any person other than the Grantor his servants or agents
- 4.6 Transco shall pay all rates and taxes which may be imposed in respect of the said works or the easements hereby granted
- 4.7 If at any time any interference with or disturbance of the functioning of any drains or drainage system in or under his land can be shown by the Grantor to have been caused by the laying of any pipeline in the exercise of the easements hereby granted then Transco shall so far as is reasonably practicable make good any damage or injury thereby caused and shall make full compensation to the Grantor in respect thereof insofar as the same shall not have been made good as aforesaid

PROVIDED that the Grantor shall not settle or compromise any such action claim or demand as is referred to in sub-clauses 4.4 and 4.5 of this clause without the prior consent of Transco

- 4.8 Not to transfer the benefit of this Deed unless the transferee first covenants directly with the Grantor for the time being to comply with the obligations of Transco in this Deed of Grant

5 Covenants by the Grantor

The Grantor (to the intent and so as to bind the said land and every part thereof into whosoever hands the same may come (but so that subject to the provisions of clause 12 of this Deed the Grantor and any successors in title shall not be liable once they shall have parted with all their respective interests in the said land and adjoining land) and to benefit and protect the easements hereby granted) covenants with Transco as follows :

- 5.1 The Grantor shall not do or cause or permit to be done on the said land or anything calculated or likely to cause damage or injury to the said works and will take all reasonable precautions to prevent such damage or injury
- 5.2 The Grantor shall not without the prior consent in writing of Transco make or cause or permit to be made any material alteration to or any deposit of anything upon any part of the said strips of land so as to interfere with or obstruct the access thereto or to the said works by Transco or so as to lessen or in any way

interfere with the support afforded to the said works by the surrounding soil including minerals or so as materially to reduce the depth of soil above the said works

- 5.3 The Grantor shall not erect or install or cause or permit to be erected or installed any building or structure or permanent apparatus in through upon or over the said strips of land

PROVIDED that nothing in this clause shall prevent the Grantor from installing any necessary pipes drains wires or cables under the supervision and with the consent (which shall not be unreasonably withheld) of Transco or its agents or carrying on normal agricultural operations or acts of good husbandry including fencing hedging and ditching not causing interference obstruction or material reduction of the depth of soil as aforesaid

6 Arbitration

- 6.1 Any dispute arising under clauses 4 and 5 hereof shall be determined in default of agreement by a single arbitrator to be agreed upon between the parties hereto or failing agreement to be appointed on the application of either party (after notice in writing to the other party) by the President of the Royal Institution of Chartered Surveyors and save as aforesaid the provisions of the Arbitration Act 1996 and of any statutory modification or re-enactment thereof for the time being in force shall apply to any such reference and determination and for the avoidance of doubt the costs of the arbitration shall be part of the award of the Arbitrator

7 Diversion for Development

- 7.1 If at any time hereafter the Grantor so requests in writing Transco shall divert or reinforce the said works in accordance with the following provisions of this clause
- 7.2 (a) Transco shall carry out reinforcement works of protection to the pipeline enabling any proposed development to be carried out; and/or
- (b) Transco shall divert the said works along a route in through under upon or over land of the Grantor (or other neighbouring land where the Grantor or Transco have or can procure the necessary rights over it) which shall be in such position in through under upon or over the land of the Grantor as may be agreed between the Grantor and Transco and with other third parties where appropriate or failing agreement as shall be determined by an Arbitrator acting as an expert to be appointed by the President of the Royal Institution of Chartered Surveyors as being the route which having regard to all relevant factors will cause the least possible interference with the use and enjoyment of the said land (or any neighbouring land of the Grantor) and any proposed development thereof and as shall avoid interfering with the use and enjoyment of the said land or said development or any possible additional development **PROVIDED ALWAYS** that nothing in this sub-clause 7.2(b) shall

operate to require Transco to exercise its powers of compulsory purchase; and

- (c) If a new main or pipe and/or ancillary apparatus are laid by Transco then Transco shall (as specified by the Grantor following prior consultation between them) either remove or abandon pipe and make safe the original works and (in the case of all works carried out pursuant to this clause 7) Transco shall reinstate the land affected on completion of such works
- (d) The costs properly and reasonably incurred by Transco in complying with its obligations under sub-clauses 7.2(a) (b) and/or (c) above shall be borne by the Grantor but before incurring any such costs Transco shall notify the Grantor within a reasonable period of time after receiving the Grantor's request (pursuant to clause 7.1) of the estimated amount of such costs and shall not proceed with the diversion or reinforcement until the Grantor has confirmed to Transco in writing that the diversion or reinforcement shall proceed
- (e) The Grantor will at its own cost either enter into or procure that a third party enter into a supplemental Grant of Easement with Transco for an easement to lay the said main or pipe in its diverted position in through under upon or over a strip of land with the relevant width specified in Schedule 1 and the said Grant shall be in similar terms to these presents
- (f) As soon as practicable after the Grantor has given written confirmation pursuant to sub-clause 7.2(d) above Transco will carry out the works requested pursuant to clause 7.2 in a good and workmanlike manner using all reasonable skill and care to be expected of a person experienced in carrying out works of that nature

8 Environmental Provisions

8.1 In this Deed the following terms shall be defined as follows:

"Hazardous Material" shall mean any substance (including but not limited to "controlled waste" within the meaning of Section 75 of the Environmental Protection Act 1990 (EPA)):

- (a) the presence of which may require work of containment restoration remediation or cleanup to be undertaken under any applicable law whether on or off the said lands or
- (b) the presence of which causes or threatens to cause a nuisance whether private or public or a statutory nuisance within the meaning of Section 79 of the EPA; or
- (c) the presence of which on adjacent properties could constitute a trespass by Transco; or

- (d) which in an uncontained form may cause pollution of the environment (the expression "environment" being defined in Section 1(2) of the EPA) or harm to human health or detriment to the amenities of the locality; or
- (e) which is otherwise toxic explosive corrosive radioactive carcinogenic or mutagenic: or
- (f) without limitation which contained polychlorinated biphenyls (PCBs) asbestos or urea formaldehyde foam insulation

"Environmental Requirements" mean all applicable present and future authorisations registrations duties of care codes of conduct regulations standards and notices permits consents approval and licences issued imposed or directed by any relevant body (including but not limited to a United Kingdom Government Department Authority or Inspectorate a Local Authority a Waste Regulation Authority and Environment Agency) relating to:

- (i) the use of the said land
- (ii) the processes of manufacture treatment storage disposal and release of Hazardous Material on under above in or about the said land
- (iii) the transfer disposal and deposit of Hazardous Material
- (iv) the transportation of Hazardous Material to from or across the said land
- (v) the health and safety of employees and visitors and contractors and other persons at or in the vicinity of the said land
- (vi) otherwise relating to the protection of the environment and/or the protection of human health and all requirements pertaining to reporting notification and disclosure of information to employees to the public and to any relevant body aforesaid concerning any matter referred to above

8.2 Transco shall at all times and at its own cost and expense obtain and retain in full force and effect all Environmental Requirements whether existing at the date of this Deed or existing at any time thereafter and Transco shall not cause permit or suffer the existence or the commission by Transco its agents employees contractors or invitees or any other person of any non-compliance with or contravention of any such Environmental Requirements

8.3 Notwithstanding Transco's covenants in this Deed it shall have no liabilities under this clause 8 as a result of the presence in on over or under the said land or any adjoining or neighbouring property at the date of this Deed of contaminative substances ("Contamination") or as a result of such previous present or future uses of the said land or any adjoining or neighbouring property as have resulted in the release of contaminative substances ("Contaminative Uses") except where

contaminative uses are a result of Transco's use of the easement strip forming part of the said land and/or its excavation and the construction laying alteration and removal of the pipeline and any associated works

- 8.4 Transco shall rectify (or pay to make good or rectify) remediate remove treat or render harmless Contamination or rectify (or pay to make good or rectify) or remediate any damage or other adverse consequence of any Contaminative Uses where it can be shown that such Contamination or Contaminative Uses are as a result of Transco's use of the easement strip forming part of the said land and/or its excavation and the construction laying alteration and removal of the pipeline and any associated works.

9 Service of Notices

- 9.1 All communications relative to this Deed shall be addressed to the Grantor at the address given above and to Transco at Brockham House Station Road Dorking RG4 1HJ or if Transco shall cease to use that address then to its registered office for the time being

10 Land Registry

- 10.1 Transco with the consent of the Grantor hereby applies for an entry under Section 19(2) of the Land Registration Act 1925 to be made on the register of the said land comprised in the title number to be allocated to the said land following first registration of title

11 Covenants Joint and Several

Where the Grantor comprises two or more persons covenants expressed to be made by the Grantor shall be deemed to be made jointly and severally by such persons

12 Dispositions by the Grantor

- 12.1 The Grantor or any of his its or their successors in title shall not bring any action on any matter contained herein where the cause of the action arises after the Grantor or such successors in title (as the case may be) have parted with their respective interests in the said land

13 Third Party Rights

- 13.1 Subject to any rights which may accrue to any successor or permitted assign of either of the parties hereto no provision of this Deed shall or may be construed as creating any rights enforceable by a third party and all third party rights as may be implied by law or deemed to be enforceable by the Contracts (Rights of Third Parties) Act 1999 or any statute amending or replacing the said Act are hereby excluded to the fullest extent permitted by law from this Deed

14 **Certificate of Exemption**

14.1 **IT IS HEREBY CERTIFIED** that this instrument falls within category "J" of the Schedule to the Stamp Duty (Exempt Instruments) Regulations 1987

IN WITNESS whereof the Grantor and Transco have caused their respective Common Seals to be affixed to this Deed the day and year first above written

Schedule 1

The following strips of land all of which are shown for identification only coloured yellow on the attached plan:

- 1 A strip of land (numbered "1" on the attached plan) being 1.5 metres in width either side of the pipe wall of the 125mm P.E. L.P. Main thereunder.
- 2 A strip of land (numbered "2" on the attached plan) being 9 metres in width either side of the pipe wall of the 24" Steel HP Main thereunder.
- 3 A strip of land (numbered "5" on the attached plan) being 3 metres in width either side of the pipe wall of the 250 mm P.E. M.P. Main thereunder.
- 4 A strip of land (numbered "6" on the attached plan) being 3 metres in width either side of the pipe wall of the 36" Steel L.P. Mains thereunder.
- 5 A strip of land (numbered "9" on the attached plan) being 3 metres in width either side of the pipe wall of the 36" Cast Iron M.P. Main thereunder.
- 6 A strip of land (numbered "15" on the attached plan) being 3 metres in width either side of the pipe walls of each of the 30" Steel L.P. Main, the 12" Steel M.P. main and the 30" Steel M.P. Main respectively thereunder.

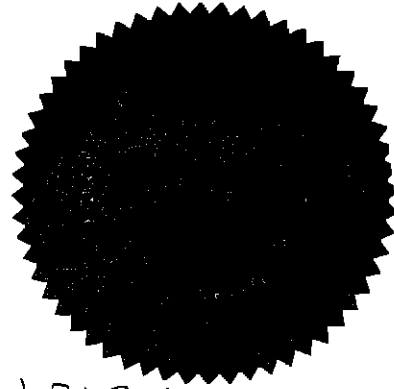
And where there is more than one main under any such strip the aggregate width

EXECUTED as a **DEED** under the
COMMON SEAL of **LATTICE**
PROPERTY HOLDINGS
LIMITED in the presence of:

)
)
)
)



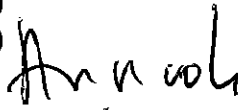
Authorised signatory



LPH 941

EXECUTED as a **DEED** under the
COMMON SEAL of **TRANSCO**
PLC in the presence of:-

)
)
)



Authorised Signatory

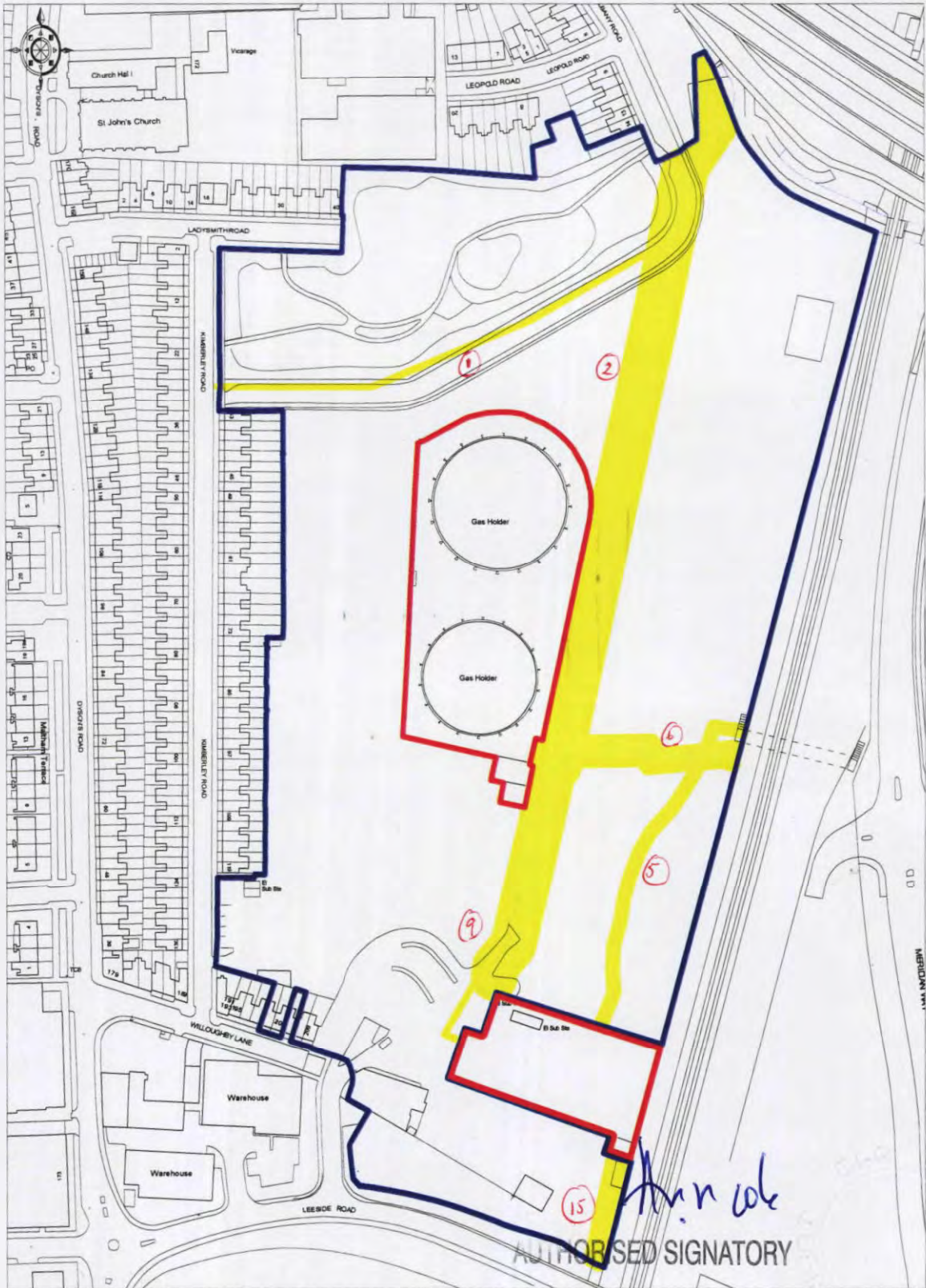


B9T9386

Willoughby Lane,
Tottenham, London

[Signature]
AUTHORISED SIGNATORY

LPH 941



[Signature]

AUTHORISED SIGNATORY

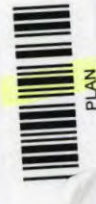
© Crown copyright 2000 All rights reserved. Based on Ordnance Survey digital data Survey Scale - 1:1250 Plotted Scale - 1:2483
(Scales other than at Survey Scale should not be used for accurate measurement). Business occupancy data ©2000 Thomson Directories Ltd.



Ordnance Survey
Value Added Reseller

BG plc Property Division
Location Code 195

BGT9386



These are the notes referred to on the following official copy

Title Number AGL146548

The electronic official copy of the document follows this message.

This copy may not be the same size as the original.

Please note that this is the only official copy we will issue. We will not issue a paper official copy.

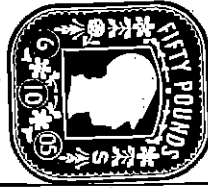
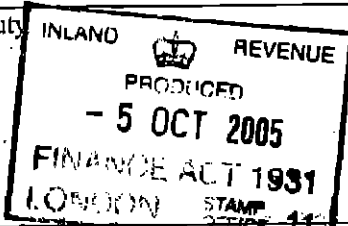
Transfer of part of registered title(s)

HM Land Registry

TP1

(If you need more room than is provided for in a panel, use continuation sheet CS and staple to this form)

1. Stamp Duty



Place "X" in the box that applies and complete the box in the appropriate certificate.

It is certified that this instrument falls within category Regulations 1987 in the Schedule to the Stamp Duty (Exempt Instruments)

It is certified that the transaction effected does not form part of a larger transaction or of a series of transactions in respect of which the amount or value or the aggregate amount or value of the consideration exceeds the sum of

£

2. Title number(s) out of which Property is transferred (leave blank if not yet registered)

AGL89444



AGL146548



SEQ165



3. Other title number(s) against which matters contained in this transfer are to be registered (if any)

4. Property transferred (Insert address, including postcode, or other description of the property transferred. Any physical exclusions, e.g. mines and minerals, should be defined. Any attached plan must be signed by the transferor and by or on behalf of the transferee)
"The Property" means the property described in the First Schedule hereto and each and every part thereof.

I hereby certify this is a true and complete copy of the original

The Property is defined: (place "X" in the box that applies and complete the statement)

on the attached plan and shown edged red shaded pink (state reference e.g. "edged red")

on the Transferor's filed plan and shown (state reference e.g. "edged and numbered 1 in blue")

Bond Pearce LLP
Ballard House
West Hoe Road
Plymouth
PL1 3AE

5. Date 14 March 2003

6. Transferor (give full names and Company's Registered Number if any)
Secondsite Property Holdings Limited (Company Reg Number 3797578)

Dated 13/10/05
Signed Bond Pearce

Copy
Photo

7. Transferee for entry on the register (Give full names and Company's Registered Number if any; for Scottish Co. Reg. Nos., use an SC prefix. For foreign companies give territory in which incorporated.)
TRANSPORT FOR LONDON

Unless otherwise arranged with Land Registry headquarters, a certified copy of the transferee's constitution (in English or Welsh) will be required if it is a body corporate but is not a company registered in England and Wales or Scotland under the Companies Acts.

8. Transferee's intended address(es) for service in the U.K. (including postcode) for entry on the register
WINDSOR HOUSE, 42 - 50 VICTORIA ROAD, LONDON, SW1H 0TL

9. The Transferor transfers the Property to the Transferee.

10. Consideration (Place "X" in the box that applies. State clearly the currency unit if other than sterling. If none of the boxes applies, insert an appropriate memorandum in the additional provisions panel.)

The Transferor has received from the Transferee for the Property the sum of (in words and figures)
Five Hundred and Eighty Five Thousand Pounds (£585,000.00) plus VAT of One Hundred and Two Thousand Three
Hundred and Seventy Five Pounds (£ 102,375.00) B)
(insert other receipt as appropriate)

The transfer is not for money or anything which has a monetary value

11. The Transferor transfers with (place "X" in the box which applies and add any modifications)

full title guarantee limited title guarantee

The covenants implied by the Law of Property (Miscellaneous Provisions) Act 1994 shall be varied as follows:

Section 2(1)(b) shall be deemed to be amended to read, "That the person disposing of the Property will at the cost of the person to whom he disposes of the Property do all that he reasonably can to give that person the title he purports to give"

Sections 3(3) will be deemed to be amended to read "there shall be implied a covenant that to the knowledge of the relevant employee (being the individual responsible for negotiating the disposition) of the person making the disposition (from the employee's personal knowledge of the Property and having inspected the records actually available to him) the person making the disposition has not since the last disposition for value..."

12. Declaration of trust Where there is more than one transferee, place "X" in the appropriate box.

The Transferees are to hold the Property on trust for themselves as joint tenants.

The Transferees are to hold the Property on trust for themselves as tenants in common in equal shares.

The Transferees are to hold the Property (complete as necessary)

13. Additional Provisions

1. Use this panel for:

- definitions of terms not defined above
- rights granted or reserved
- restrictive covenants
- other covenants
- agreements and declarations
- other agreed provisions
- required or permitted statements, certificates or applications.

2. The prescribed subheadings may be added to, amended, repositioned or omitted.

13.1 Definitions

In this document the following words shall have the following meanings:

13.1.1 "the Orders" means the A406 London North Circular Trunk Road (Improvement between Silver Street and Hall Lane) Compulsory Purchase Order (No 1)1991 and the A406 London North Circular Trunk Road (Improvement between Silver Street and Hall Lane) Compulsory Purchase Order (No 2) 1991

13.1.2 "the Plan" means the plan annexed numbered FS/A406/A1/C142

13.1.3 "the Retained Land" means the land (other than the Property) of the Transferor comprised in Title Number AGL89444

13.1.4 "the Road" means the A406 London North Circular Road

13.1.5 "the Transferor's Rights" means the rights specified in the Second Schedule

13.1.6 "the Transferee's Covenants" means the covenants specified in the Third Schedule

13.2 Interpretation

- 13.2.1 The headings in this Transfer are for reference purposes only and do not affect the construction or meaning of this Transfer
- 13.2.2 Words importing one gender include all other genders
- 13.2.3 The singular includes the plural and vice versa
- 13.2.4 Obligations and liabilities of a party to this transfer comprising more than one person are obligations and liabilities of such persons jointly and severally save as otherwise expressly stated

13.3 Recitals

The Orders provide for the purchase inter alia of the Property

13.4 Acknowledgments

The Transferee acknowledges that:

- 13.4.1 The Property may have been contaminated by the use thereof prior to the date of this Transfer in connection with the manufacture production supply or storage of gas
- 13.4.2 It has had the full opportunity to inspect and survey the Property and carry out investigations thereon;
- 13.4.3 It relies on its own risk on the contents of any report plan and/or other written material and/or information either disclosed to it by the Transferor both as to the condition of the Property and as to the nature and effect of any remedial works which may have been carried out and no warranty is given and/or representation is made by the Transferor in respect thereof;
- 13.4.4 It has satisfied itself as to the condition of the Property;
- 13.4.5 The Consideration takes account of the condition of the Property
- 13.4.6 It is solely responsible for carrying out any necessary remediation works at the Property

13.5 The Transferor's Rights

There are excepted and reserved to the Transferor for the benefit of the Retained Land the Transferor's Rights

13.6 Declarations

The Property is transferred without any rights either express or implied over the Retained Land and section 62 of the Law of Property Act 1925 shall be excluded from this Transfer

13.7 Compensation for Severance and Depreciation

It is hereby agreed that the Price includes compensation for and together with shall be deemed to be in full satisfaction of all claims by the Transferor on account of severance and depreciation of the Retained Land or otherwise howsoever arising by reason of the acquisition by the Transferee of the Property and the rights and the use therefore for the carrying out of his functions BUT this does not affect any compensation to which the Transferor may become entitled pursuant to the provision of Part IV of the Land Compensation Act 1961 (as inserted by Section 66 of and Schedule 14 to the Planning and Compensation Act 1991)

13.8 Transferee's Covenants

The Transferee for itself and its successors in title so as to run with and bind the whole of the Property and each and every part of it covenants with the Transferor for the benefit of the Retained Land covenants with the Transferor as set out in the Third Schedule

THE FIRST SCHEDULE

"the Property"

The Land shaded pink on the Plan and thereon numbered Plots 142A, 142B and 142C containing 11,758 square metres or thereabouts being part of the land comprised in Title Number AGL89444

THE SECOND SCHEDULE

"the Transferor's Rights"

There are excepted and reserved to the Transferor for itself and its successors in title to the Retained Land and each and every part of it and all others authorised by it or them the following rights:

1. The right to carry on any undertaking or activity (including among others those relating to the gas industry but excluding any undertaking or activity prohibited by statute) from time to time on the Retained Land or on any part of it notwithstanding any disturbance to or interference with the enjoyment of the Property however caused (including among other causes disturbance by noise from machinery) insofar as it does not affect the use of the Property for the purpose for which the Property is acquired under the Compulsory Purchase Order
2. To carry out works to the Retained Land and to develop redevelop or alter any buildings or other structures on it in whatever manner may be desired and to consent to others doing so whether or not in each case the access of light and air or any other amenity from time to time enjoyed by the Property shall be affected in any way

THE THIRD SCHEDULE

"the Transferee's Covenants"

1. To maintain the steel palisade fence not less than 6 feet in height between the Property and the Retained Land
2. To indemnify and keep the Transferor and any successor in title to the undertaking and liabilities of the Transferor indemnified in respect of all and any actions judgments penalties damages losses costs claims expenses liabilities and demands wholly arising from or consequent upon the provisions in Part 2A of the Environmental Protection Act 1990

14. *The Transferors and all other necessary parties (including the proprietors of all the titles listed in panel 3) should execute this transfer as a deed using the space below and sign the plan. Forms of execution are given in Schedule 3 to the Land Registration Rules 1925. If the transfer contains transferees' covenants or declarations or contains an application by them (e.g. for a restriction), it must also be executed by the Transferees.*

THE COMMON SEAL of SECONDSITE
PROPERTY HOLDINGS LIMITED was
hereunto affixed in the presence of:

AUTHORISED SIGNATOR

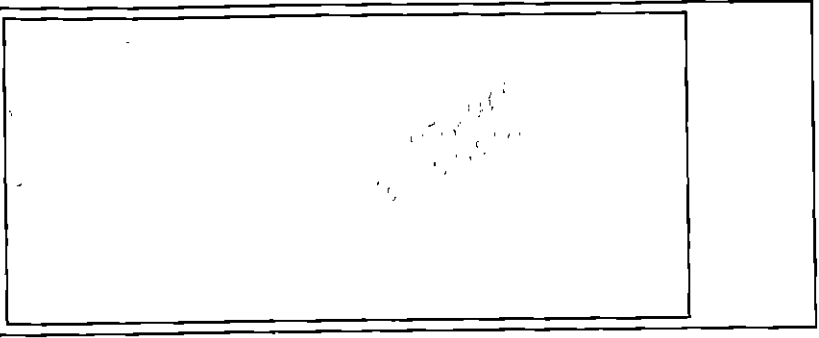
Director

Director[/Secretary]

THE COMMON SEAL of TRANSPORT
FOR LONDON was affixed to this deed in
the presence of:

Carole Daves

Secretary



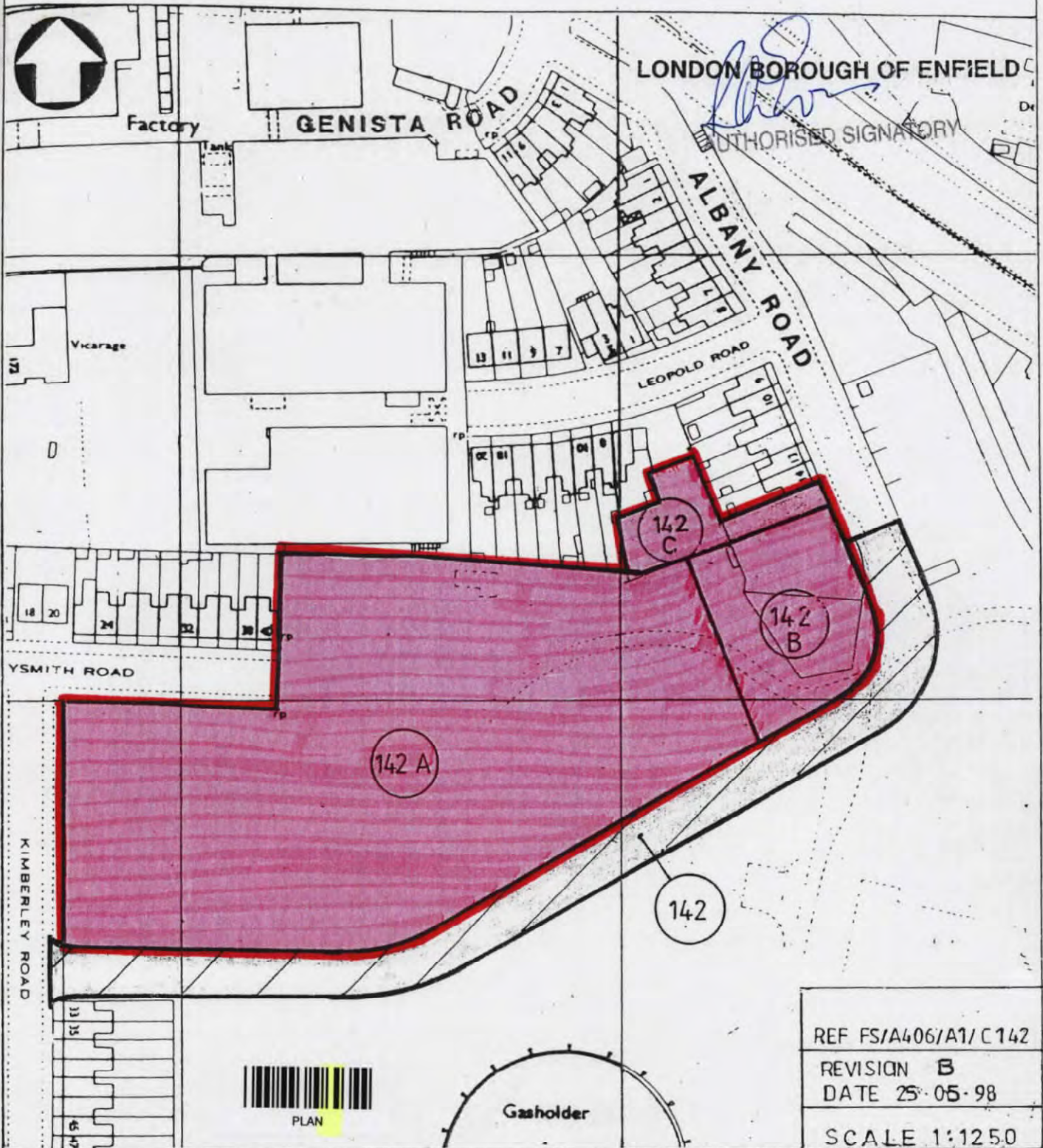
A406 LONDON NORTH CIRCULAR ROAD

321

2569

IMPROVEMENT BETWEEN SILVER STREET AND HALL LANE

COMPULSORY PURCHASE ORDER



REF FS/A406/A1/C142

REVISION B
DATE 25-05-98

SCALE 1:1250

INTEREST PLAN GAS WORKS SITE ADJACENT TO ALBANY ROAD

PLOT No	APPROX AREA Sq.m.	OWNER	LESSEE	OCCUPIER
142	2875	British Gas plc Rivermill House 152 Grosvenor Road London SW1V 3RL		Owner
142 A	9865			
142 B	1350			
142 C	543			

Real Estate Precedent (English Law)

Template replies to CPSE.1 (General pre-contract enquiries for all commercial property transactions) and STER (title requirements)

REPLIES TO COMMERCIAL PROPERTY STANDARD ENQUIRIES (CPSEs)

CPSE.1 (VERSION 3.6) – General pre-contract enquiries for all property transactions

STER (VERSION 3.0) – Solicitor's title and exchange requirements

Seller: Transport for London

Buyer: **

Property: Site at Albany Road, Enfield, N18 2DY

Development (if appropriate): **

Transaction: **

Seller's Solicitors: Dentons UKMEA LLP



Buyer's Solicitors: **

Date: **

14 November 2017

IMPORTANT NOTES FORMING PART OF THESE REPLIES – PLEASE READ

A The provisions of the section of CPSE.1 headed **Interpretation** apply to these replies.

B These replies are given from the information provided by the Seller's property manager, but who has not made and will not make any enquiry into the Seller's records or any other inspection or investigation other than as included as part of the papers provided.

And in these replies **None known** or **Not to the Seller's knowledge** or similar expressions must be interpreted accordingly.

C These replies must be treated as qualified by any relevant information disclosed elsewhere in the copy documents and other papers provided by the Seller's solicitors to the Buyer's solicitors.

The enquiries comprising CPSE.1 (version 3.6) and STER (version 3.0) are reproduced below with the consent of the Practical Law Company Limited, the British Property Federation and the participating law firms.



© MEMBER FIRMS OF LPSLG AND THOMSON
REUTERS (PROFESSIONAL) UK LTD 2002 – 2017

CPSE.1 (VERSION 3.6) – General pre-contract enquiries for all property transactions

1 Boundaries and extent

- 1.1 In respect of all walls, fences, ditches, hedges or other features (**Boundary Features**) that form the physical boundaries of the Property:
- (a) are you aware of any discrepancies between the boundaries shown on or referred to in the title deeds and the Boundary Features; and It will be necessary to agree boundaries before completion with the adjacent owner/occupier.
- (b) have any alterations been made to the position of any Boundary Features during your ownership or, to your knowledge, earlier? Not to the Seller's knowledge though the adjacent owner/occupier has a lease for this land.
- 1.2 To whom do the Boundary Features belong if they do not lie wholly within the Property? To the extent that the papers provided are silent, please rely on your own investigation.
- 1.3 In relation to each of the Boundary Features:
- (a) have you maintained it or regarded it as your responsibility; To the extent that the papers provided are silent, please rely on your own investigation.
- (b) has someone else maintained it or regarded it as their responsibility; or The adjacent owner/occupier has a lease for this land and has maintained it.
- (c) have you treated it as a party structure or jointly repaired or maintained it with someone else?
- 1.4 Please supply a copy of any agreement for the maintenance of any of the Boundary Features. None known.

- | | | |
|-----|--|---|
| 1.5 | Please supply a plan showing any parts of the Property that are situated beneath or above adjoining premises, roads or footpaths and supply copies of any relevant licences for projections. | To the extent that the papers provided are silent, please rely on your own investigation. |
| 1.6 | Are there any adjoining or nearby premises or land which you use or occupy in connection with the Property? | No. |
| 1.7 | If the answer to enquiry 1.6 is 'yes', please: | Not applicable. |
| | (a) provide a plan showing the area occupied; | |
| | (b) provide evidence of the basis of such occupation; and | |
| | (c) state when such occupation commenced. | |

2 Party walls

In respect of any party structures which form part of the Property and also in respect of any works of the kind which require notices to be served under the Party Wall etc. Act 1996 (1996 Act) please:

- | | | |
|-----|---|--|
| (a) | confirm that there have been no breaches of the 1996 Act or any earlier legislation governing party structures; | The Seller has received no notice of any breach of party wall legislation. |
| (b) | supply copies of any notices, counternotices, awards and agreements relating to party structures, whether made under the 1996 Act or otherwise; and | None known. |
| (c) | confirm that there have been no breaches of any of the terms, notices, counternotices, awards or agreements. | The Seller has received no notice of any breach of any notices, counternotices, awards or agreements relating to party structures. |

3 Rights benefiting the Property

- | | | |
|-----|---|--|
| 3.1 | Unless apparent from the copy documents supplied, are there any covenants, agreements, rights or informal arrangements of any kind (including any which you may be in the course of acquiring) which benefit the Property (Rights)? | None known. |
| 3.2 | In respect of any Rights benefiting the Property, and unless apparent from the copy documents supplied, please: | |
| | (a) if the Right is formally documented, show title and supply copies of all relevant documents, plans and consents; | Please rely on your own review of the papers provided. |
| | (b) if the Right is not formally documented, supply evidence as to entitlement together with a plan showing the area over which the Right is exercised; | Please rely on your own review of the papers provided. |

- | | | |
|-----|--|--|
| (c) | state to what extent any Rights are exercised, whether they are shared and if so by whom; | Please rely on your own inspection and review of the papers provided. |
| (d) | state whether they can be terminated and, if so, by whom; | Please rely on your own review of the papers provided. |
| (e) | state who owns and/or occupies the land over which any Rights are exercisable; | Please rely on your own inspection, investigation and review of the papers provided. |
| (f) | give details of the maintenance (including costs) of any land, Conduits or equipment used in connection with any Rights; | None known. |
| (g) | give details of any interference with any Rights, whether past, current or threatened; and | None known. |
| (h) | confirm that all terms and conditions relating to the exercise of any Rights have been complied with or, if they have not, give details. | The Seller has received no notice of breach of any terms and conditions. |
| 3.3 | Have you (or, to your knowledge, has any predecessor in title): | Please rely on your own investigation and review of the papers provided. |
| (a) | registered against any other titles at the Land Registry any unilateral notices to protect the priority of any of the Rights revealed in response to enquiry 3.1; or | |
| (b) | registered any cautions against first registration in respect of any of the Rights revealed in response to enquiry 3.1? | |

4 Adverse rights affecting the Property

- | | | |
|-----|---|---------------------------------|
| 4.1 | Unless apparent from the copy documents supplied, are there any covenants, restrictions, agreements, rights or informal arrangements of any kind to which the Property is subject (whether public or private and whether existing or in the course of acquisition) (Adverse Rights)? | Please see the papers provided. |
| 4.2 | In respect of any Adverse Rights to which the Property is subject, and unless apparent from the copy documents supplied, please: | Please see the papers provided. |
| (a) | give full details and supply copies of all relevant documents, plans and consents; | |
| (b) | state to what extent any Adverse Rights have been exercised; | |
| (c) | state who has the benefit of any Adverse Rights; | |
| (d) | state whether any Adverse Rights can be terminated and, if so, by whom; | |

- (e) give details of the maintenance (including costs) of any land, Conduits or equipment used in connection with any Adverse Rights; and
- (f) confirm that all terms and conditions relating to the exercise of any Adverse Rights have been complied with or, if they have not, give details.
- 4.3 Unless apparent from the copy documents supplied, does any person use any part of the Property with or without your permission? None known, please rely on your own inspection.
- 4.4 Have you, or to your knowledge has anyone else, applied to have any restrictive covenant affecting the Property modified or discharged? Not to the Seller's knowledge.
- 4.5 Unless full details appear from the copy documents already supplied, please supply details of any interests to which the Property is subject under Schedules 1, 3 or 12 to the Land Registration Act 2002. None known, but the transaction is subject to any there may be.
- 4.6 For the purposes of Part I of the Countryside and Rights of Way Act 2000: To the extent that the papers provided are silent, please rely on your own investigation.
- (a) is the Property 'access land' within the meaning of section 1(1) of that Act;
- (b) if the answer to 4.6(a) is 'no', are you aware of anything that might result in the Property becoming 'access land'; and
- (c) if the answer to enquiry 4.6(a) is 'yes', are there any exclusions or restrictions in force under Chapter II of Part I of the Countryside and Rights of Way Act 2000?
- 4.7 Does the Property, or any property over which Rights are enjoyed, include any land that is currently used or has in the past ten years been used by members of the public for recreational purposes, whether with or without your permission? Not to the Seller's knowledge.

5 Title policies

- 5.1 Has anyone obtained or been refused insurance cover in respect of any defect in title to the Property, including any restrictive covenant or any lost title deed? Not to the Seller's knowledge.
- 5.2 If insurance cover has been obtained, please: Not applicable.
- (a) supply copies of all policy documents including the proposal form;
- (b) confirm that the conditions of all such policies have been complied with; and
- (c) give details of any claims made and supply copies of all relevant correspondence and documents.

5.3 If insurance cover has been refused, please give details and supply copies of all relevant correspondence and documents. Not applicable.

6 Access to neighbouring land

6.1 Has the owner or occupier of any neighbouring premises ever requested or been allowed or been refused access to the Property to carry out repairs, alterations or other works to any neighbouring premises or the Conduits serving them? If so, please give details, including copies of any access orders granted under the Access to Neighbouring Land Act 1992 (1992 Act). Not to the Seller's knowledge.

6.2 Have you or, to your knowledge, has any previous owner or occupier of the Property ever requested or been allowed or been refused access to neighbouring premises to carry out repairs, alterations or other works to the Property or the Conduits serving it? If so, please give details, including copies of any access orders granted under the 1992 Act. Not to the Seller's knowledge.

7 Access to and from the Property

7.1 Does the boundary of the Property (or, if applicable, the Development) immediately adjoin a highway maintainable at public expense at, and for the full width of, each point of access? Please rely on your own investigation.

7.2 Are there any barriers to access to the Property that are controlled by a third party? If so, please give details. Please rely on your own investigation. Currently access is provided through the adjoining owner; separate access can be provided through minor works from the adjacent road.

8 Physical condition

8.1 If the Property has been affected by any of the following, please supply details: The Seller is not aware of any matters relating to points a to e.

- (a) structural or inherent defects;
- (b) subsidence, settlement, landslip or heave;
- (c) defective Conduits, fixtures, plant or equipment;
- (d) rising damp, rot, any fungal or other infection or any infestation; or
- (e) flooding.

8.2 Is the Seller aware of any Green Deal Plan affecting the Property (whether entered into by the Seller, any predecessor in title, or any previous or current tenant or occupier)? If yes, please supply a copy of the relevant documentation. None known.

- 8.3 Has asbestos been used in the present structures forming part of the Property or of any premises of which the Property forms part, including Conduits, fixtures, plant and equipment? Please rely on your own inspection.
- 8.4 Please supply a copy of the most recent survey or assessment carried out in relation to the Property (whether by the Seller or by any other person) for the purposes of complying with regulation 4 of the Control of Asbestos Regulations 2012 (or any previous Control of Asbestos Regulations) or advise us when and where it can be inspected. None known.
- 8.5 Please supply a copy of the written plan and any other records prepared for managing asbestos in the Property or in any premises of which the Property forms part, or advise us when and where they can be inspected. None known.
- 8.6 Has any substance (other than asbestos) known or suspected to be unsuitable for its purpose, unstable or hazardous, been used in the present structures forming part of the Property, including Conduits, fixtures, plant and equipment? Please rely on your own inspection.
- 8.7 Has any asbestos, or any other substance known or suspected to be unsuitable for its purpose, unstable or hazardous, been removed from the Property in the past? Please rely on your own investigation.
- 8.8 Please identify: To the extent that the papers provided are silent, please rely on your own investigation.
- (a) any buildings
 - (b) any extensions or major alterations to existing buildings, and
 - (c) any other major engineering works
- which have been erected, made or carried out at the Property within the last 12 years.
- 8.9 In respect of anything identified in reply to enquiry 8.8, please supply copies of any subsisting guarantees, warranties and insurance policies. There are none available for the benefit of the Buyer.
- 8.10 In respect of all Conduits, fixtures, plant or equipment which will remain part of the Property or which will serve the Property after completion of the Transaction: To the extent that the papers provided are silent, please rely on your own investigation.
- (a) please confirm that they have been regularly tested and maintained;
 - (b) please confirm that, so far as you are aware, there are no items requiring significant expenditure within the next three years;
 - (c) please supply a copy of the most recent maintenance report relating to each of them;
 - (d) please supply copies of any subsisting guarantees, warranties and insurance policies.

- 8.11 In relation to the guarantees, warranties and insurance policies identified in reply to enquiries 8.9 and 8.10, please confirm that: **Not applicable.**
- (a) all the terms have been complied with;
 - (b) there have been no claims made under any of them, whether or not those claims are current or have been settled; and
 - (c) there are no apparent defects in respect of which a claim might arise under them.

9 Contents

- 9.1 Please list any items which are currently attached to the structure of the Property in some way (e.g. wired, plumbed, bolted) and which you propose removing from the Property prior to completion of the Transaction. **None.**
- 9.2 Please list any items (other than those belonging to an occupational tenant) that are not attached to the structure of the Property, and which you propose leaving at the Property after completion of the Transaction. **None.**
- 9.3 In respect of each item listed in reply to enquiry 9.2, please: **Not applicable.**
- (a) confirm that the item is included in the purchase price agreed for the Transaction;
 - (b) confirm that the item belongs to you free from any claim by any other party; and
 - (c) supply copies of any subsisting certificates, guarantees and warranties relating to it.
- 9.4 Please list any item that will remain at the Property after completion but which belongs to any third party other than an occupational tenant (e.g. meters).

10 Utilities and services

- 10.1 Please provide
- (a) details of the utilities and other services connected to or serving the Property; **Please refer to the papers provided. The Buyer is responsible for making its own supply arrangements with the relevant utility suppliers following handover. The remainder of enquiry 10.1 is not applicable.**
 - (b) the name and contact details of the individual within the Seller who deals with energy supplies in relation to the Property; and **Not applicable.**

- (c) confirmation that we may make contact with the person referred to in (b) above in order to obtain information about the implementation of the Carbon Reduction Commitment Energy Efficiency Scheme in relation to the Property. Not applicable.
- 10.2 In respect of each utility or service listed in reply to enquiry 10.1(a), please state: Please refer to the papers provided.
- (a) whether the connection is direct to a mains supply; Please rely on your own inspection.
- (b) whether the connection is metered and if so whether the meter is on the Property and relates only to your use in relation to the Property; Please rely on your own inspection.
- (c) who makes the supply; and Please make your own arrangements for the supply of these services.
- (d) whether the Conduits run directly from a highway maintainable at public expense to the Property without passing through, under or over any other land. Please rely on your own inspection as to their routes.
- 10.3 In the case of the electricity supply to the Property, is any meter a half hourly meter settled on the half-hourly market? No known meters are on site.
- 10.4 Has a notification been submitted in relation to the Property pursuant to regulation 3 of the Heat Network (Metering and Billing) Regulations 2014? If so, please supply a copy. None known.
- 10.5 Please provide details of any supply contracts and any other relevant documents. Please make your own arrangements for the supply of these services.
- 10.6 Please provide details of any contracts for the supply of services carried out at the Property (e.g. security or cleaning). Please make your own arrangements for the supply of other services to the property.
- 11 Fire safety and means of escape**
- In this Enquiry, **Fire Safety Order 2005** means the Regulatory Reform (Fire Safety) Order 2005 and any regulations made under it. The whole of this enquiry 11 is not applicable. Fire safety for the Property will be the Buyer's responsibility.
- 11.1 Please advise us where we may inspect any records in relation to the Property, made for the purposes of complying with the Fire Safety Order 2005, including any records of findings following a fire risk assessment of the Property. None known.
- 11.2 Please advise us where we may inspect any records in relation to any premises within any building of which the Property comprises part, made for the purposes of complying with the Fire Safety Order 2005, including any records of findings following a fire risk assessment of any such premises. Not applicable.

- 11.3 Please provide details of any steps taken in relation to the Property to co-operate with any other people and to co-ordinate measures to comply with the Fire Safety Order 2005. None known.
- 11.4 What are the current means of escape from the Property in case of emergency? Please rely on your own inspection.
- 11.5 If any current means of emergency escape from the Property passes over any land other than the Property or a public highway please: To the extent that the papers provided are silent, please rely on your own investigation.
- (a) provide copies of any agreements that authorise such use;
- (b) confirm that all conditions in any such agreements have been complied with; and
- (c) provide details of anything that has occurred that may lead to any agreement for means of escape being revoked, terminated or not renewed.

12 Planning and building regulations

- 12.1 Please supply a copy of any planning permission, approval of reserved matters, building regulations approval, building regulations completion certificate, self-certification, listed building consent and conservation area consent which relates to the Property, and of any consent for the display of advertisements at or from the Property (each a **Consent**). Please see the papers provided. There may be other consents of which the Seller does not possess copies.
- 12.2 In respect of any Consents disclosed, please identify: Please rely on your own investigation.
- (a) those which have been implemented and if so, indicate whether fully or partially;
- (b) those which authorise existing uses and buildings; and
- (c) those which have not yet been implemented but are still capable of implementation.
- 12.3 Please supply a copy of any of the following certificates (each a **Certificate**) which relate to the Property: None known.
- (a) established use certificate;
- (b) certificate of lawfulness of existing use or development; and
- (c) certificate of lawfulness of proposed use or development.
- 12.4 How are the existing buildings on the Property authorised if not by a Consent or a Certificate? Please rely on your own investigation.
- 12.5 How is the existing use of the Property authorised if not by a Consent or a Certificate? Please rely on your own investigation.

- 12.6 What is the existing use of the Property, when did it start and has it been continuous since? If there is more than one existing use please specify each use and indicate which are main and which are ancillary, and when each use started. The site is currently used to store scaffolds and related materials.
- 12.7 Where the Property is not listed under the Planning (Listed Buildings and Conservation Areas) Act 1990, please provide details of any building works, demolition, mining or other engineering works that have taken place at the Property within the past ten years and confirm that all necessary Consents were obtained for them. Not applicable.
- 12.8 Where the Property is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990, please provide:
- (a) a copy of the listing particulars where available; and Not applicable.
- (b) details of any alterations, extensions, other building works, demolition, mining or other engineering works that have taken place at the Property since the date when the Property was listed, and confirm that all necessary Consents were obtained for them. Not applicable.
- 12.9 Have there been any actual or alleged breaches of the conditions and limitations and other terms in any Consents or Certificates? The Seller has received no notice of any breach.
- 12.10 Is any Consent or Certificate the subject of a challenge in the courts either by way of judicial review or statutory proceedings? If not, is a challenge expected? None known.
- 12.11 Please provide details of any application for a Consent or a Certificate which: None known.
- (a) has been made but not yet decided;
- (b) has been refused or withdrawn; or
- (c) is the subject of an outstanding appeal.
- 12.12 If there is any existing outline planning permission relating to the Property or other planning permission with conditions which need to be satisfied in order for development to proceed, what has been done to obtain approval of reserved matters and/or satisfaction of those conditions? To the extent that the papers provided are silent, please rely on your own investigation.
- 12.13 Please supply a copy of any letters or notices under planning legislation which have been given or received in relation to the Property. Please see the papers provided.
- 12.14 Please confirm that you are not aware of any circumstances by reason of which a planning enforcement order might be made as a result of an apparent breach of planning control that has been deliberately concealed by you or (to your knowledge) any other person. None known.

- 12.15 Have you notice of any matter, fact or thing that would lead you to believe that the Property or any part of it is to be listed in the local authority's list of assets of community value? None known.

13 Statutory agreements and infrastructure

- 13.1 In relation to any agreements affecting the Property that have been entered into with any planning, highway or other public authority or utilities provider: None known.
- (a) please supply details;
- (b) confirm that there are no breaches of any of their terms; and
- (c) confirm that there are no outstanding obligations under them.
- 13.2 Are you required to enter into any agreement or obligation with any planning, highway or other public authority or utilities provider? None known.
- 13.3 Are there any proposals relating to planning, compulsory purchase powers, infrastructure (including parking, public transport schemes, road schemes and traffic regulation) or environmental health which, if implemented, would affect the continued use of the Property for its present purposes? Please rely on your own investigation.
- 13.4 Is there anything affecting the Property that is capable of being registered on the local land charges register but that is not registered? To the extent that the papers provided are silent, please rely on your own investigation.
- 13.5 Please confirm that the Property is not subject to any charge or notice remaining to be complied with. The Seller has received no notice of any outstanding obligation.
- 13.6 Please supply details of any grant made or claimed in respect of the Property, including any circumstances in which any grant may have to be repaid. To the extent that the papers provided are silent, please rely on your own investigation.
- 13.7 Please supply details of any compensation paid or claimed in respect of the Property under any planning legislation or following the exercise of compulsory purchase powers. The land was acquired by compulsorily purchase from British Gas/Secondsite Property Holdings by TfL in March 2003. This land was exchange land replacing green space taken from London Borough of Enfield to enable road improvement works on the A406. No other details of compensation are known.

14 Statutory and other requirements

- 14.1 Are you aware of any breach of, alleged breach of or any claim under any statutory requirements or byelaws affecting the Property, its current use, the storage of any substance in it or the use of any fixtures, machinery or chattels in it? The Seller has received no notice of any breach or claim.

- 14.2 Please give details of any notices that require works to be carried out to the Property under any statute, covenant, agreement or otherwise and state to what extent these notices have been complied with. The Seller has received no such notices.
- 14.3 Other than any already supplied, please provide details of any licences or consents required to authorise any activities currently carried out at the Property, including any required under local legislation (e.g. London Building Act). None known.
- 14.4 Are you aware, in relation to the Property, of any breach or alleged breach of the Construction (Design and Management) Regulations 1994, 2007 or 2015? The Seller has received no notice of any breach.
- 14.5 Has a Health and Safety file been prepared for the Property? If so, please: Not applicable.
- (a) confirm that it has been compiled and kept up to date in accordance with the Construction (Design and Management) Regulations 1994, 2007 or 2015 (as applicable);
- (b) advise when and where it can be inspected; and
- (c) confirm that the original will be handed over on completion.
- 14.6 Have you supplied a valid Energy Performance Certificate (EPC) for the Property, or a copy of it, in relation to the Transaction and, if so, to whom? Not applicable.
- 14.7 If you have not supplied a valid EPC for the Property, please: Not applicable.
- (a) tell us where a valid EPC for the Property can be inspected; or
- (b) explain why no EPC is needed.
- 14.8 If the Property contains any air-conditioning, please:
- (a) state when and where the latest inspection report for that air-conditioning system can be inspected; and Not applicable.
- (b) confirm that the original of that inspection report will be handed over on completion. Not applicable.

15 Environmental

- 15.1 Please supply a copy of all environmental reports that have been prepared in relation to the Property or indicate where such reports may be inspected. Please rely on the papers provided.
- 15.2 Please supply: Please rely on the papers provided.

- (a) a copy of all licences and authorisations given in relation to the Property under environmental law and confirm that the terms of all such licences and authorisations have been complied with; and
- (b) details of any licences and authorisations for which application has been made but that have not yet been given.
- 15.3 What (if any) authorisations are required under environmental law for activities currently carried out or processes occurring at the Property, including storage of materials, water abstraction, discharges to sewers or controlled waters, emissions to air and the management of waste?
- To the extent that the papers provided are silent, please rely on your own investigation.
- 15.4 Please give details (so far as the Seller is aware) of:
- (a) past and present uses of the Property and of activities carried out there; and
- (b) the existence of any hazardous substances or contaminative or potentially contaminative material in, on or under the Property, including asbestos or asbestos-containing materials, any known deposits of waste, existing or past storage areas for hazardous or radioactive substances, existing or former storage tanks (whether below or above ground) and any parts of the Property that are or were landfill.
- To the extent that the papers provided are silent, please rely on your own investigation.
- 15.5 Please provide full details of any notices, correspondence, legal proceedings, disputes or complaints under environmental law or otherwise relating to real or perceived environmental problems that affect the Property, or which have affected the Property within the last ten years, including any communications relating to the actual or possible presence of contamination at or near the Property.
- To the extent that the papers provided are silent, please rely on your own investigation.
- 15.6 Please provide full details of how any forms of waste or effluent from the Property (including surface water) are disposed of, including copies of any relevant consents, agreements and correspondence.
- To the extent that the papers provided are silent, please rely on your own investigation.
- 15.7 Please give details of any actual, alleged or potential breaches of environmental law or licences or authorisations and any other environmental problems (including actual or suspected contamination) relating to:
- (a) the Property; or
- (b) land in the vicinity of the Property that may adversely affect the Property, its use or enjoyment or give rise to any material liability or expenditure on the part of the owner or occupier of the Property.
- To the extent that the papers provided are silent, please rely on your own investigation.

15.8 Please provide copies of any insurance policies that specifically provide cover in relation to contamination or other environmental problems affecting the Property. If such insurance cover has at any time been applied for and refused, please provide full details. None known.

16 Occupiers and employees

16.1 Please give the names of anyone in actual occupation of the Property or receiving income from it. Except where apparent from the title deeds, please explain what rights or interests they have in the Property. Francis McDonagh.

16.2 Except where apparent from the title deeds or revealed in reply to enquiry 16.1, please state whether any person, apart from you, has or claims to have any right (actual or contingent) to use or occupy the Property or any right to possession of the Property or to any interest in it. None known.

16.3 If the Property is vacant, when did it become vacant? The Property will be provided with vacant possession.

16.4 Is there anyone to whom the Transfer of Undertakings (Protection of Employment) Regulations 2006 will or might apply, who is: None known.

(a) employed at the Property by you; or

(b) employed at the Property by someone other than you; or

(c) is otherwise working at or is providing services at or to the Property?

16.5 In respect of each person identified in reply to enquiry 16.4, please provide copies of the current contract of employment, any other contractual documentation and (if applicable) any service occupancy agreement for resident employees. Not applicable.

17 Insurance

17.1 Have you experienced any difficulty in obtaining insurance cover (including cover for public liability and, where relevant, for loss of rent) for the Property at normal rates and subject only to normal exclusions and excesses? No.

17.2 Please give details of the claims history and any outstanding claims. None known.

17.3 Is there any insurance benefiting the Property, other than buildings insurance and any policy disclosed in reply to enquiry 5.1 (defect in title) or 15.8 (environmental insurance)? None available for the benefit of the Buyer.

17.4	If an existing buildings insurance policy will remain in place after completion of the Transaction, or is to be relied on by the Buyer until completion, please supply a copy of the policy including the proposal form (if available) and schedule of insurance cover and (where not shown on the schedule) provide the following information:	Not applicable.
	(a) the insurer's name and address;	
	(b) the policy number;	
	(c) the risks covered and the exclusions and the excesses payable;	
	(d) the sums insured (showing separately, where applicable, the sums for buildings, plant and machinery, professionals' fees, loss of rent and public liability);	
	(e) the name(s) of the insured(s) and of all other persons whose interests are (or will be) noted on the policy;	
	(f) the current premium;	
	(g) the next renewal date;	
	(h) the name and address of the brokers; and	
	(i) details of any separate terrorism insurance arrangements.	
17.5	Please confirm that all premiums have been paid that are required to maintain the cover referred to in enquiry 17.4 up to the next renewal date following the date of the Seller's replies to these enquiries.	Not applicable.
17.6	Please provide details of any circumstances that may make the policy referred to in the reply to enquiry 17.4 void or voidable.	Not applicable.
18 Rates and other outgoings		
18.1	What is the rateable value of the Property?	Please rely on your own enquiries of the rating authority.
18.2	Please confirm that the Property is not assessed together with other premises or, if it is, please give details.	Please rely on your own enquiries of the rating authority.
18.3	Please provide copies of any communications received in connection with:	None available.
	(a) the latest rating revaluation and any returns made; and	None available.
	(b) any proposal or pending appeal.	None available.

- 18.4 Please give details of: Please rely on your own enquiries of the rating authority.
- (a) any works carried out to, or any change of use of, the Property that may cause the rateable value to be revised; and
- (b) any application made for the rateable value to be revised.
- 18.5 In the current year what is payable in respect of the Property for: Please rely on your own enquiries of the relevant bodies.
- (a) uniform business rates; and
- (b) water rates, sewerage and drainage rates?
- 18.6 Have you made any claim for void period allowance or for exemption from liability for business rates? If so, please give details. None known.
- 18.7 Is the Property the subject of transitional charging arrangements? If so, please give details. Please rely on your own enquiries of the rating authority.
- 18.8 Except where apparent from the title deeds, please give details of all outgoing (other than business, water, sewerage and drainage rates) payable by the owner or occupier of the Property, and confirm that all payments due to date have been made. No such outgoing are known.
- 18.9 Is the Property situated within an area subject to a Business Improvement District (BID) arrangement? The Seller has received no notice of a BID.
- 18.10 If the Property is within an area subject to a BID arrangement, please provide the following: Not applicable.
- (a) the name and address of the BID body;
- (b) the amount of the levy payable in respect of the Property; and
- (c) details of any arrangements under which you may be liable to contribute to the funding of the BID even if you are not the rateable occupier.
- 18.11 If the Property is not within an area subject to a BID arrangement, are you aware of any proposal to create a BID that will include the Property? The Seller has received no notice of a proposed BID.

19 Notices

- 19.1 Except where details have already been given elsewhere in replies to these enquiries, please supply copies of all notices and any subsequent correspondence that affect the Property or any neighbouring property and have been given or received by you or (to your knowledge) by any previous owner, tenant or occupier of the Property. None known.

19.2 Are you expecting to give or to receive any notice affecting the Property or any neighbouring property? None expected.

20 Disputes

Except where details have already been given elsewhere in replies to these enquiries, please give details of any disputes, claims, actions, demands or complaints that are currently outstanding, likely or have arisen in the past and that:

The Seller does not know of any disputes, claims, actions, demands or complaints relating to the Property or to any rights enjoyed with the Property that are currently outstanding. The remainder of this enquiry is too wide and you must rely on your own investigation.

- (a) relate to the Property or to any rights enjoyed with the Property or to which the Property is subject; or
- (b) affect the Property but relate to property near the Property or any rights enjoyed by such neighbouring property or to which such neighbouring property is subject.

21 Community Infrastructure Levy (CIL)

- 21.1 Has any planning permission (including any permission under section 73 of the Town and Country Planning Act 1990) relating to the Property been granted that is subject to the Community Infrastructure Levy ("CIL")? None known.
- 21.2 Has any other CIL liability been incurred in respect of the Property relating to development authorised by permitted development rights or any other "general consent" (as defined in Regulation 5 of the CIL Regulations 2010)? None known.
- 21.3 Are you aware of any existing or future CIL liability relating to the Property? None known.
- 21.4 Has any notice or correspondence relating to any existing or future CIL liability in respect of the Property (including in relation to any payments of CIL in kind) been sent, lodged or received? If so, please supply a copy of all such notices and correspondence. None known.
- 21.5 Have you lodged or received notice of any undetermined planning applications (including any planning appeals) relating to the Property or are you aware of any such applications? None known.
- 21.6 If any CIL liability has been, or is to be, incurred, relating to the Property, has any notice been served under the CIL legislation assuming liability for the CIL or is there any legal obligation on anyone to do so? None known.
- 21.7 Where someone has assumed liability for any CIL, or is under an obligation to assume liability for any existing or future CIL, relating to the Property, what protection is in place None known.

- (a) to prevent that person withdrawing their assumption of liability?
- (b) to prevent that person transferring their assumption of liability without the consent of the Buyer, following completion of the Transaction?
- (c) to protect the Buyer from default liability if the person who has assumed liability defaults and the collecting authority seeks or requires payment of the whole or any part of the CIL from the Buyer?

- 21.8 If any CIL liability has been, or is to be, incurred, relating to the Property, have any of the buildings forming part of the Property been in lawful use for a continuous period of six months within the period of three years before planning permission first permitted the chargeable development? If so, please specify which buildings or part(s) of such buildings have been in lawful use. **Not applicable. There are no buildings on the property.**
- 21.9 If any CIL liability has been, or is to be, incurred relating to the Property, is there any proposal to demolish any of the buildings forming part of the Property, or have any buildings that once formed part of the Property been demolished since the grant of a planning permission that is subject to CIL? If so, please provide details. **None known.**
- 21.10 In relation to any CIL liability that has been, or is to be, incurred relating to the Property, are you aware that any relief has been claimed? If so, please provide full details including the date when the chargeable development in connection with which the relief was claimed was commenced. **None known.**

22 Commonhold

- 22.1 Does the Property include any land that is the subject of any application, or any proposed application, to the Land Registry for registration of a freehold estate in commonhold? **Not applicable.**
- 22.2 Have you consented or been asked to consent to the establishment of a freehold estate in commonhold that would include the Property or any part of the Property? **Not applicable.**

23 Stamp Duty Land Tax (SDLT) on assignment of a lease

- In this enquiry, **Lease** has the same meaning as in CPSE.4 ("the lease under which the Property is held and which is to be assigned by the Seller to the Buyer"). **The whole of enquiry 23 is not applicable.**
- 23.1 If the grant of the Lease or the substantial performance of the agreement to grant the Lease or any event since the grant of the Lease was a land transaction for SDLT purposes, **Not applicable.**

- (a) what was the date of the grant of the Lease or substantial performance (or later transaction) for SDLT purposes? Not applicable.
- (b) was the transaction notifiable? Not applicable.
- (c) if the transaction was notifiable, please provide a copy of each land transaction return made to HMRC and copy of each certificate issued by HMRC certifying that the transaction was notified to them; Not applicable
- (d) if the transaction was not notifiable, please specify why it was not and provide a copy of any self-certification certificate made on the grant of the lease (or later transaction) or otherwise certify the effective date of the grant of the lease or substantial performance. Not applicable
- 23.2 Is there a potential or outstanding obligation to make an additional land transaction return to HMRC as a result of any of the following occurring during the first five years from the date given in the answer to Enquiry 23.1(a): Not applicable.
- (a) the settlement or determination of any rent reviews or any other provision for varying the rent; or
- (b) the settlement or determination of any contingent, uncertain or unascertained rents?
- If there is, please provide a full schedule of the rents payable and paid in each quarter since the date given in the answer to Enquiry 23.1(a).
- 23.3 If a premium was paid for the grant of the lease or any assignment of the lease to you Not applicable.
- (a) was the whole or any part of that premium contingent, uncertain or unascertained;
- (b) if it was, does the whole or any part of that premium remain contingent, uncertain or unascertained; and
- (c) have you made any application to HMRC to defer payment of SDLT on that contingent, uncertain or unascertained consideration?
- 23.4 Were any SDLT reliefs claimed on the grant of the Lease and, if applicable, on the assignment of the Lease to you, that would result in the assignment of the Lease by you being deemed to be the grant of a new Lease? Not applicable.

24 Deferred payments of SDLT

- If you have made any application to defer the payment of SDLT on any contingent, uncertain or unascertained consideration and you are seeking an indemnity from the buyer in respect of the deferred payment: Not applicable.

- (a) please provide a copy of the original land transaction return made to HMRC and a copy of the certificate issued by HMRC certifying that the transaction was notified to them;
- (b) please provide a copy of all correspondence with HMRC regarding the application to defer the payment of SDLT;
- (c) what is the amount of SDLT on which payment has been deferred;
- (d) when does the period of deferral end; and
- (e) has any event occurred that quantifies the amount of the contingent, uncertain or unascertained consideration that would impose an obligation on you to make a further land transaction return to HMRC?

25 Value Added Tax (VAT) registration information

- 25.1 Are you registered for VAT? Yes.
- 25.2 If so, please provide details of your VAT registration number. VAT registration number 756276990.
- 25.3 If you are registered as part of a VAT group, please provide the name of the representative member. The name of the representative member is Transport Trading Ltd.

26 Transfer of a business as a going concern (TOGC)

- 26.1 Do you expect the Transaction to be treated as a TOGC and so to be outside the scope of VAT? No.
- If you answered no, please go to enquiry 27 below; otherwise please answer enquiries 26.2–26.5 below.*
- 26.2 Why do you think TOGC treatment will apply? Not applicable.
- 26.3 Are there any factors (other than those solely within our control) that may affect the availability of this treatment? Not applicable.
- 26.4 Is the Transaction partly within and partly outside the scope of VAT (being a TOGC)? If so, how do you propose to apportion the price between the two elements? Not applicable.
- 26.5 Is the Property a Capital Goods Scheme item? If so, and if the period of adjustment has not yet expired, please supply the following: Not applicable.
- (a) the start date of the adjustment period and of any intervals that have started or will start before completion of the Transaction;
 - (b) the original deductible percentage;

- (c) the total input tax attributable to the Property (whether or not recoverable) that is subject to adjustment in accordance with the Capital Goods Scheme and the amount of that input tax that has been recovered by you, or by anyone previously responsible for making adjustments during the current period of adjustment; and
- (d) details of any adjustment of the input tax recovered in relation to the Property by you or anyone previously responsible for making adjustments.

27 Other VAT treatment

If and to the extent that the Transaction may not be a TOGC (however unlikely this may be) or TOGC status is not available, will the Transaction (or any part of it) be treated for VAT purposes as:

- (a) standard-rated (if yes, please go to enquiry 28 below); Not applicable.
- (b) exempt (if yes, please go to enquiry 29 below); Yes.
- (c) zero-rated (if yes, please go to enquiry 30 below); or Not applicable.
- (d) outside the scope of VAT (other than by reason of being a TOGC)? (if yes, please go to enquiry 31 below). Not applicable.

28 Standard-rated supplies

- 28.1 Why do you think that the Transaction (or any part of it) is standard-rated? Not applicable.
- 28.2 If the Transaction (or any part of it) is compulsorily standard-rated (as the freehold sale of a new or uncompleted building or civil engineering work), please state: Not applicable.
- (a) the date of the certificate of practical completion of the Property (or each relevant part);
 - (b) if different, the date on which it was first fully occupied; and
 - (c) whether the Property (or any part of it) is not yet completed.
- 28.3 Have you (or a relevant associate within the meaning of paragraph 3 of Schedule 10 to the Value Added Tax Act 1994) exercised a valid option to tax (within the meaning of Schedule 10 to the Value Added Tax Act 1994) that applies to the Property? If so, please: Not applicable.

- (a) supply a copy of the option to tax and the notice of the option given to HMRC and any notices and correspondence received from HMRC in relation to the option;
- (b) supply a copy of any permission required from HMRC for the option or, where relevant, details of any automatic permission relied upon, and provide confirmation that any conditions for such permission have been satisfied; and
- (c) confirm that the option applies to the whole of the Property and has not been and cannot be disapplied or rendered ineffective for any reason and cannot and will not be revoked.

28.4 Where the Transaction is the assignment of a lease, has the landlord (or a relevant associate within the meaning of paragraph 3 of Schedule 10 to the Value Added Tax Act 1994) exercised a valid option to tax (within the meaning of Schedule 10 to the Value Added Tax Act 1994) that applies to the Lease? Not applicable.

Unless you also answered yes to enquiry 27(b), (c) or (d), please now go to enquiry 32.

29 Exempt supplies

- 29.1 Why do you think the Transaction (or any part of it) will be exempt? Vendor has not exercised a VAT option to tax over the site
- 29.2 Does the Transaction involve both standard-rated and exempt supplies? If so, how do you propose to apportion the price between the two elements? Not applicable.

Unless you also answered yes to enquiry 27(c) or (d), please now go to enquiry 32.

30 Zero-rated supplies

- 30.1 Why do you think that the Transaction (or any part of it) is zero-rated? Not applicable.
- 30.2 Does the Transaction involve both standard-rated and zero-rated supplies? If so, how do you propose to apportion the price between the two elements? Not applicable.

Unless you also answered yes to enquiry 27(d), please now go to enquiry 32.

31 Transactions outside the scope of VAT (other than TOGCs)

- 31.1 Why do you think that the Transaction (or any part of it) is outside the scope of VAT? Not applicable.

31.2 Is the Transaction partly within and partly outside the scope of VAT (other than by reason of being a TOGC)? If so, how do you propose to apportion the price between the two elements? Not applicable.

32 Capital allowances

NOTE: In this enquiry 32 "**plant and machinery fixtures**" means plant and machinery fixtures at the Property

- 32.1 Do you hold the Property on capital account as an investor/owner-occupier, or on revenue account as a developer/property trader as part of your trading stock? Please specify which. The whole of enquiry 32 is not applicable.
- 32.2 Have you claimed capital allowances on plant or machinery fixtures or allocated any expenditure on such fixtures to a capital allowances pool? If so, please answer the supplementary questions in enquiry 32.9 in respect of that expenditure. No.
- 32.3 If you have not pooled any expenditure on plant or machinery fixtures: Not applicable.
- (a) will you do so if the Buyer asks you to?
- (b) if so, by when?
- (c) if not, why not?
- 32.4 If you bought the Property and cannot pool any expenditure on plant and machinery fixtures: Not applicable.
- (a) please provide the name and contact details of everyone who has owned the Property since April 2014;
- (b) please provide evidence that the most recent previous owner who was entitled to claim allowances pooled any expenditure on plant and machinery fixtures? Please answer the supplementary questions in enquiry 32.9 in respect of that previous owner's expenditure.
- 32.5 Please provide details of any plant and machinery fixtures which were paid for by a tenant, including any contributions made by you towards their cost. Not applicable.
- 32.6 Please provide details of any plant and machinery fixtures which are leased to you by an equipment lessor. Not applicable.
- 32.7 If the transaction is the grant of a new lease at a premium, and you are entitled to do so and the Buyer asks you to, will you enter into a Capital Allowances Act 2001 section 183 election for the Buyer to be treated as the owner of the plant and machinery fixtures for capital allowances purposes? Not applicable.

32.8 Please provide details of any expenditure on plant and machinery that you have treated as long-life assets, or any expenditure upon which you have claimed another type of capital allowances (for example, industrial buildings allowances, research and development allowances, business premises renovation allowances and so on). **Not applicable.**

Supplementary Enquiries

32.9 For each plant and machinery fixture for which a claim has been made or expenditure has been pooled, please: **Not applicable.**

- (a) provide a description of that fixture;
- (b) state when that fixture was acquired;
- (c) state whether that fixture was installed by you, or already installed by a previous owner (please specify which);
- (d) state the amount of expenditure pooled in respect of that fixture; and
- (e) (where enquiry 32.2 applies) confirm that you will enter into a Capital Allowances Act 2001 section 198 election in that amount (or other appropriate amount, to be agreed) if asked to do so by the Buyer.

OR

- (f) (where enquiry 32.4 applies) confirm whether the most recent previous owner who was entitled to claim allowances entered into a Capital Allowances Act 2001 section 198 election and, if so, in what amount.

32.10 Please provide the name and contact details of your capital allowances adviser. Please confirm that we may make contact with him/her in order to obtain information about the matters dealt with in this enquiry 32. **Not applicable.**

